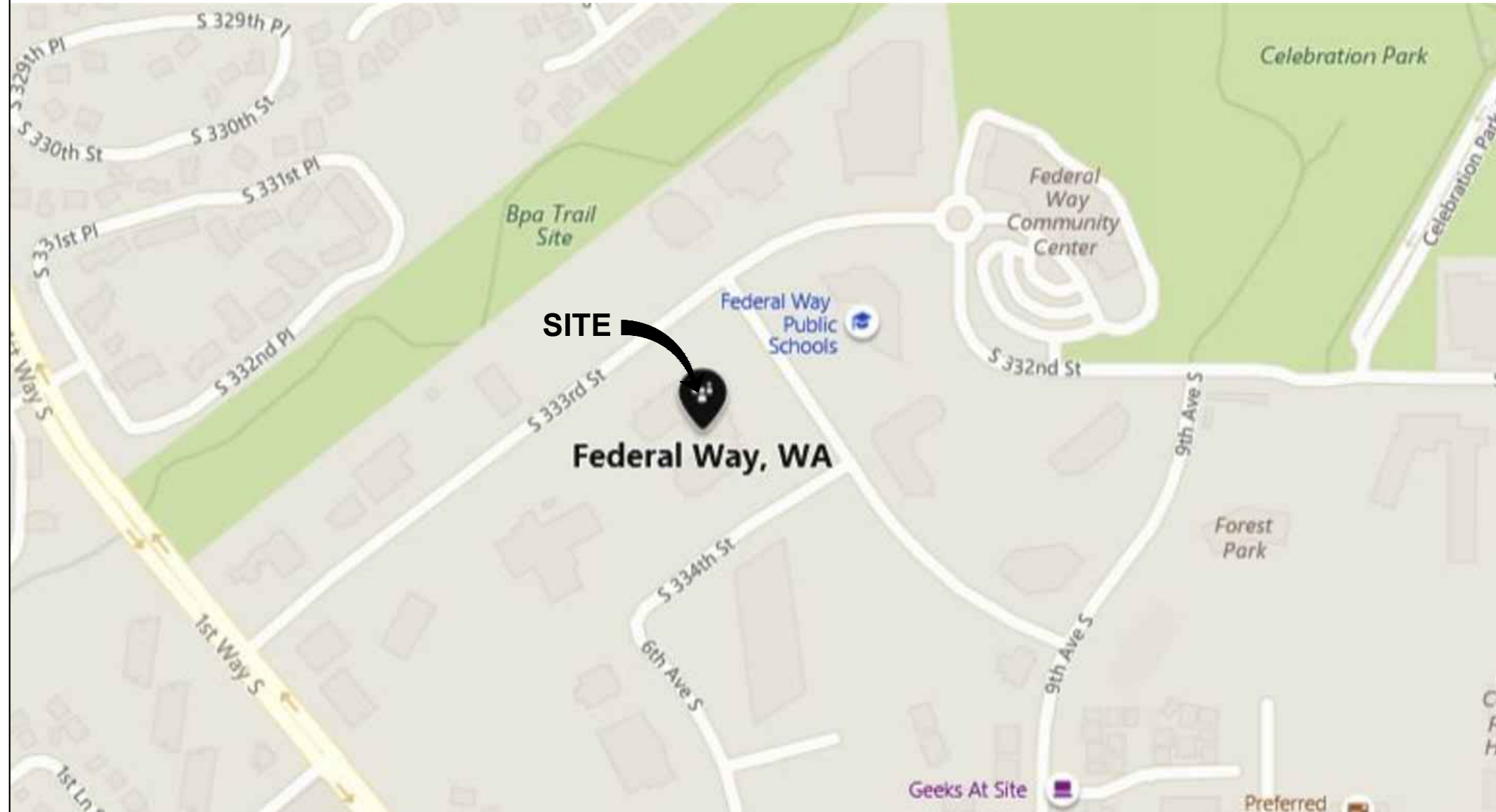


GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE 2017 INTERNATIONAL BUILDING CODE AND AS AMENDED BY ANY LOCAL BUILDING CODES OR ORDINANCES. INCLUDING ENERGY AND ACCESSIBILITY CODE REQUIREMENTS.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS. VERIFY ALL DIMENSIONS, DATUMS, AND LEVEL PRIOR TO CONSTRUCTION. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS NOTED OTHERWISE. CONSULT WITH ARCHITECT AND OWNER REGARDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES REQUIRED TO PERFORM THE WORK.
- THE CONTRACTOR SHALL UTILIZE CONSTRUCTION TECHNIQUES, PRACTICES, AND PROCESSES THAT ARE STANDARD AND ACCEPTABLE TO THE CONSTRUCTION INDUSTRY QUALITY STANDARDS. THE ARCHITECT DOES NOT SPECIFY OR ASSUME LIABILITY OR RESPONSIBILITY FOR METHODS AND MEANS OF CONSTRUCTION.
- THE CONTRACTOR SHALL EXAMINE THE PREMISES TO DETERMINE THE EXTENT OF WORK AND THE CONDITIONS UNDER WHICH IT MUST BE DONE. NO EXTRA PAYMENTS OR CHARGES WILL BE ALLOWED FOR CLAIMS FOR ADDITIONAL WORK THAT SHOULD HAVE BEEN INCLUDED IN ORIGINAL INSPECTION.
- THE CONTRACTOR SHALL CHECK AND VERIFY CONTRACT DOCUMENTS AND FIELD CONDITIONS FOR ACCURACY AND CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR IS TO OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- CONTRACTOR SHALL NOTE THAT NOT ALL MISCELLANEOUS ITEMS OF CUTTING, PATCHING OR FITTING ARE INDIVIDUALLY DESCRIBED OR NOTED HEREIN. NO SPECIFIC DESCRIPTION OF CUTTING, PATCHING, OR FITTING REQUIRED TO PROPERLY ACCOMMODATE THE SCOPE OF WORK SHALL RELIEVE THE CONTRACTOR FROM RESPONSIBILITY TO PERFORM SUCH WORK AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS OF ANY ACCIDENTAL DAMAGE HE/SHE HIS/HER EMPLOYEES INFLECTS UPON THE EXISTING WORK TO REMAIN. IF, FOR ANY REASON, DAMAGE TO EXISTING WORK OR UTILITIES IS CONSIDERED TO BE UNAVOIDABLE, SUBMIT WRITTEN NOTIFICATION OF THIS BEFORE SIGNING THE CONTRACT. IN THE ABSENCE OF SUCH NOTIFICATION, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR DAMAGE AND THE COST OF SATISFACTORILY REPAIRING OR REPLACING THE DAMAGED WORK.
- THE RELOCATION OF ANY ITEMS INVOLVED IN THE WORK IS SUBJECT TO THE CONTRACTOR'S ABILITY TO DO SO WITHOUT PERMANENTLY DAMAGING OR MARRING THE ITEMS TO BE RELOCATED. IF THE CONTRACTOR IS UNABLE TO RELOCATE ANY ITEM AS PRESCRIBED HEREIN HE/SHE SHALL NOTIFY ARCHITECT AND OWNER IN WRITING. WITH OWNER AND/OR ARCHITECTS APPROVAL, CONTRACTOR SHALL SUBSTITUTE NEW MATERIAL TO MATCH EXISTING IN LIEU OF RELOCATING SAME. CONTRACTOR MAY ALSO ELECT TO USE NEW MATERIAL TO MATCH EXISTING IN LIEU OF RELOCATION OF EXISTING FOR HIS/HER OWN CONVENIENCE.
- IN PERFORMING WORK PRESCRIBED HEREIN AND THE STRUCTURAL AND MEP DRAWINGS OF THIS WORK, IT WILL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR ALL EXISTING CONSTRUCTION DISTURBED, RELOCATED, DAMAGED OR ALTERED AND ALL NEW CONSTRUCTION INSTALLED, AS REQUIRED TO HIDE ALL EVIDENCE OF WORK AND TO REFINISH THIS CONSTRUCTION TO MATCH EXISTING FINISH AND APPEARANCE.
- ALL WORK NOTED N.I.C. OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE A PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR SHALL COORDINATE WITH "OTHER" CONTRACTORS AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS FROM THE WORK AREA DURING PROGRESS OF THE JOB.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND COSTS ASSOCIATED WITH ALL UTILITY REMOVAL AND INSTALLATION WITH APPROPRIATE UTILITY AS REQUIRED.
- UPON COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL DEBRIS, SURPLUS MATERIALS, AND EQUIPMENT AND THOROUGHLY CLEAN ALL SURFACES SO THAT THE PREMISES ARE READY FOR IMMEDIATE OCCUPANCY.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PREVENT THE SPREAD OF DUST, DIRT, AND DEBRIS TO AREAS OUTSIDE THE WORK AREA INCLUDING FINISHED AREAS WITHIN THE BUILDING.
- ALL PLUMBING, HEATING, VENTILATION, AND ELECTRICAL EQUIPMENT, FIXTURES, WIRING, PIPING, APPLIANCES, ETC., AND ALL ASSOCIATED APPURTENANCES SCHEDULED TO BE REMOVED SHALL BE DEMOLISHED AND REMOVED BY THE GENERAL CONTRACTOR WITH ALL DISCONNECTIONS OF SAME BY THE RESPECTIVE SUB-CONTRACTOR OF PLUMBING, H.V.A.C., AND ELECTRICAL. SURFACE APPURTENANCES ARE TO BE REMOVED, CARED FOR AND REINSTALLED BY CONTRACTOR. ALSO, CONTRACTOR IS TO MARK AND PROTECT EXISTING PIPING, WIRING, ETC., AND IS SOLELY RESPONSIBLE FOR DAMAGE CAUSED TO SAME. THIS NOTE APPLIES ONLY TO EXISTING ITEMS SCHEDULED TO BE REMOVED.
- OPENINGS AND PENETRATIONS IN FLOOR/CEILING OR ROOF/ASSEMBLIES SHALL BE PROTECTED WITH THROUGH-PENETRATION FIRESTOPS AS REQUIRED BY IBC.
- PROVIDE NEAT CUT WHERE UTILITIES PENETRATE RATED WALL AND FLOOR ASSEMBLIES - SEAL WITH NON-COMBUSTIBLE CODE APPROVED MATERIAL IMPERVIOUS TO THE PASSAGE OF SMOKE.
- TO MAINTAIN WALL FIRE RATING, GYPSUM WALLBOARD SHALL BE CONTINUOUS TO THE FLOOR SHEATHING (INCLUDING AREAS WHERE BATHTUBS, LAVATORIES, AND KITCHEN WALL AND BASE CABINETS MAY OCCUR).
- PENETRATING ITEMS PASSING ENTIRELY THROUGH BOTH PROTECTIVE MEMBRANES OF BEARING WALLS AND WALLS REQUIRING PROTECTED OPENINGS SHALL BE PROTECTED WITH THROUGH - PENETRATION AS REQUIRED BY IBC.
- CONTRACTOR SHALL INSTALL FIREBLOCKS AND DRAFTSTOPS AT ALL LOCATIONS REQUIRED AS SPECIFIED IN IBC.
- WHEN A CEILING FORMS THE PROTECTIVE MEMBRANE FOR A FIRE-RESISTIVE FLOOR-CEILING OR ROOF-CEILING ASSEMBLY, THE CONTRACTOR SHALL REFER TO IBC FOR INFORMATION AND REQUIREMENTS FOR INSTALLING FIXTURES OR PENETRATIONS IN THESE ASSEMBLIES.
- THESE GENERAL NOTES AND DRAWINGS APPLY ONLY TO THAT PORTION OF THE BUILDING/PROJECT IN WHICH WORK DESCRIBED IN THESE DOCUMENTS IS SCHEDULED TO BE PERFORMED. THE ARCHITECT SHALL ASSUME OR ACCEPT NO LIABILITY FOR WORK IN AREAS WHERE NO WORK IS SCHEDULED TO BE PERFORMED.
- CONTRACTOR SHALL LOCATE EXISTING UTILITIES PRIOR TO ANY SITE WORK.
- NOT USED.
- ALL MECHANICAL & ELECTRICAL WORK SHALL BE PERMITTED.
- EXISTING CABINETS AND SHELVING TO BE REMOVED AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE. CONFIRM WITH BUILDING MAINTENANCE BEFORE REMOVAL.
- ACCESS CONTROL, KEYLESS ENTRY SYSTEMS, SECURITY DEVICES, ETC. SHALL BE CONTRACTOR FURNISHED PER OWNER'S DIRECTION.

VICINITY MAP



Federal Way Traffic Control Center

Federal Aid #: CM-HSIP-000S(464)
33325 8th Ave S, Federal Way, WA 98003

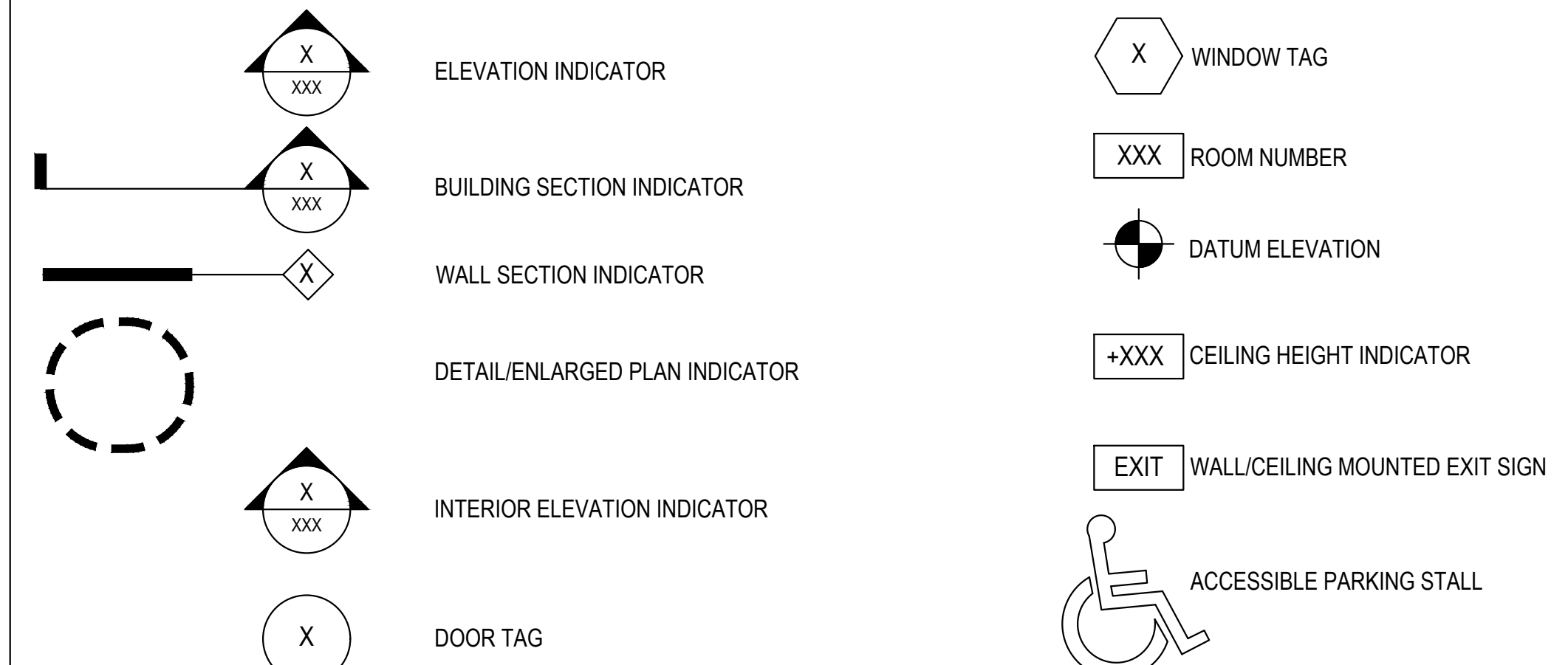
PROJECT TEAM

<p>OWNER Transpogroup 12131 113th Ave NE, Suite 203 Kirkland, WA 98034 Ph: 425.821.3665 Contact: Ryan Peterson ryan.peterson@transpogroup.com</p>	<p>ARCHITECT Cross 2 Design Group 2476 Westlake Avenue North, # 102 Seattle, WA 98109 Ph: 206.283.0066 Fx: 206.782.7818 Contact: Brad Minogue bminogue@cross2dg.com</p>	<p>MECHANICAL/ELECTRICAL Tres West Engineers, Inc. 2702 South 42nd St, Suite 301 Tacoma, WA 98409 Ph: 253.472.3300 Contact: David M. Moore dmm@treswest.com</p>
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ABBREVIATIONS

<p>ABV - ABOVE ACOUS - ACOUSTICAL ACT - ACOUSTICAL CEILING TILE ACP - ACOUSTICAL CEILING PAN. ADJ - ADJACENT, ADJUSTABLE AFF - ABOVE FINISH FLOOR ALT - ALTERNATE ALUM - ALUMINUM ANOD - ANODIZED ARCH - ARCHITECTURAL ASPH - ASPHALT BLDG - BUILDING BLKG - BLOCKING BLW - BELOW BM - BEAM BO - BOTTOM OF BOT - BOTTOM BRG - BEARING CAB - CABINET CB - CATCH BASIN CIP - CAST IN PLACE CJ - CONTROL JOINT CL - CENTERLINE CLG - CEILING CLR - CLEAR CMU - CONCRETE MASONRY UNIT COL - COLUMN CONC - CONCRETE CONST - CONSTRUCTION CONT - CONTINUOUS CPT - CARPET CT - CERAMIC TILE CTR - CENTER DET, DTL - DETAIL DF - DRINKING FOUNTAIN DIA - DIAMETER DIM - DIMENSION DN - DOWN DS - DOWNSPOUT DW - DISHWASHER DWG - DRAWING (E), EXIST - EXISTING EA - EACH EF - EXHAUST FAN EJ, EXP JT - EXPANSION JOINT ELEC - ELECTRIC(AL) ELEV - ELEVATION OR ELEVATOR EQ - EQUAL</p>	<p>EXP - EXPANSION, EXPOSED EXT - EXTERIOR FA - FIRE ALARM FD - FLOOR DRAIN FDC - FIRE DEPARTMENT CONNECTION FE - FIRE EXTINGUISHER FEC - FIRE EXTINGUISHER CABINET FFE - FINISH FLOOR ELEVATION FH - FIRE HYDRANT FIN - FINISH FLASH - FLASHING FND - FOUNDATION FLR - FLOOR FO - FACE OF FOIC - FURNITURE OWNER INSTALLED CONTRACTOR FOIO - FURNITURE OWNER INSTALLED OWNER FOS - FACE OF STUD FOW - FACE OF WALL FR - FIRE RESISTIVE, FIRE RATED FT - FOOT, FEET FT - FIRE TREATED FTG - FOOTING FURR - FURRING GA - GAGE GALV - GALVANIZED GC - GENERAL CONTRACTOR GLS - GLASS GRD - GRADE, GROUND GV - GAS VALVE GWB - GYPSUM WALL BOARD GYP - GYPSUM HB - HOSE BIB HC - HANDICAP HD - HOT DIPPED HDWR - HARDWARE HGT - HEIGHT HM - HOLLOW METAL HORIZ - HORIZONTAL HPC - HIGH PERFORMANCE COATING HR - HOUR IBC - INTERNATIONAL BUILDING CODE ID - INSIDE DIAMETER INSUL - INSULATION INST - INSTALL, INSTALLER INT - INTERIOR JAN - JANITOR JT - JOINT LAM - LAMINATED LAV - LAVATORY LB - POUND LG - LARGE</p>	<p>LOC - LOCATION PL - LIGHT POLE MACH - MACHINE MATL - MATERIAL MAX - MAXIMUM MDF - MEDIUM DENSITY FIBERBOARD MDO - MEDIUM DENSITY OVERLAY MECH - MECHANICAL MED - MEDIUM MET - METAL MFR - MANUFACTURER MIN - MINIMUM MIR - MIRROR MISC - MISCELLANEOUS MO - MASONRY OPENING MTD - MOUNTED MTL - METAL (N) - NEW NA - NOT APPLICABLE NIC - NOT IN CONTRACT NO - NUMBER NOM - NOMINAL NTS - NOT TO SCALE O/ - OVER O.C., o/c - ON CENTER OD - OUTSIDE DIAMETER ODR - OVERFLOW DRAIN OH - OPPOSITE HAND OPN'G - OPENING OPP - OPPOSITE PERP - PERPENDICULAR PL - PLATE PLAM - PLASTIC LAMINATE PLT - PLATFORM PTD - PAINTED PNT - PAINT PP - POWER POLE PSF - POUNDS PER SQUARE FOOT PSI - POUNDS PER SQUARE INCH P.T. - POST TENSIONED PT - PRESSURE TREATED PV - PLUMBING VENT PWD/PLYWD - PLYWOOD RAD - RADIUS RB - RUBBER BASE RCP - REFLECTED CEILING PLAN RD - ROOF DRAIN REC - RECOMMENDED</p>	<p>REF - REFERENCE, REFER REINF - REINFORCED REQ, REQ'D - REQUIRED RM - ROOM RO - ROUGH OPENING RUB - RUBBER SBC - SEATTLE BUILDING CODE SC - SOLID CORE SCHED - SCHEDULE, SCHEDULED SDMH - STORM DRAIN MANHOLE SECT - SECTION SF - SQUARE FEET SG - SAFETY GLASS SHT - SHEET SIM - SIMILAR SL - STREET LIGHT SM - SMALL SPEC - SPECIFICATION SQ - SQUARE SS - SANITARY SEWER S.S. - STAINLESS STEEL STD - STANDARD STL - STEEL STRL/STRUC - STRUCTURAL STM - SYMMETRICAL SV - SHEET VINYL TBD - TO BE DETERMINED TEL - TELEPHONE TG - TEMPERED GLASS TO - TOP OF TS - TUBE STEEL TSP - TELEPHONE SERVICE POLE TYP - TYPICAL UL - UNDERWRITER'S LAB. UNO - UNLESS NOTED OTHERWISE UON - UNLESS OTHERWISE NOTED VIN - VINYL VB - VINYL BASE VCT - VINYL COMPOSITION TILE VERT - VERTICAL VIF - VERIFY IN FIELD W/ - WITH WD - WOOD WIN, WD/W - WINDOW WNST - WAINSCOT WP - WATERPROOF WR - WEATHER RESISTANCE WT - WEIGHT</p>
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SYMBOLS



PROJECT INFORMATION

PROJECT #:	202
RFB #:	19-005
PARCEL I.D. NO.:	926500-0290
LEGAL DESCRIPTION	WEST CAMPUS OFFICE PARK DIV I ALL LOTS 29 THRU 31 TGW POR OF LOTS 27 & 32 LY NELY OF LN DAF-BEG AT MOST NLY COR OF SD LOT 27 TH S 53-58-3 W 23 FT TO TPOB OF SD DESC LN TH S 36-51-48 E TAP ON SELY LN OF SD LOT 32 LY 21426 FT NELY OF MOST SLY COR THOF & TERMINUS OF SD DESC LN - PER FEDERAL WAY LLE *LLE 94-0003 REC *9404221386
DESCRIPTION OF WORK	INTERIOR TENANT IMPROVEMENT WORK TO INCLUDE FURNITURE CHANGES, MINOR MECHANICAL VENTING AND LIGHTING CHANGES, NO STRUCTURAL OR DEMO WORK (TENANT IMPROVEMENT TO 139 SQ.FT. OF TRAFFIC MANAGEMENT CENTER ON SECOND FLOOR)
APPLICABLE CODES	2015 IBC 2017 ICC/ANSI A117.1 - ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES 2015 WASHINGTON STATE ENERGY CODE
LOT AREA	5.73 acres
BLDG GROSS AREA	89,100 sq. ft.
AREA OF REMODEL	139 sq. ft.
ZONING	RO (RESEARCH OFFICE)
OCCUPANCY GROUP	B - Business
NOTE:	1. NO CHANGE TO BUILDING AREA, BUILDING HEIGHT, LOT COVERAGE OR PARKING LOT

SHEET INDEX

GENERAL	CS1.01 COVER SHEET
ARCHITECTURAL	A1.01 OVERALL 2ND FLOOR KEY PLAN A2.01 FLOOR PLAN AND REFLECTED CEILING PLAN A3.01 FURNITURE PLAN A4.01 ELEVATIONS
MECHANICAL	M1.1 MECHANICAL SCHEDULES DETAILS M2.1 MECHANICAL FLOOR PLAN
ELECTRICAL	E1.1 ELECTRICAL FLOOR PLAN E2.0 ELECTRICAL ONE-LINE DIAGRAM E2.1 ELECTRICAL PANEL SCHEDULES

CONSTRUCTION APPROVAL

APPROVED FOR CONSTRUCTION	
DESIREE S. WINKLER, P.E. DEPUTY PUBLIC WORKS DIRECTOR	DATE

60% CD	02-04-19
90% CD	04-01-19
100% CD	07-25-19
CONSTRUCTION	
REVISION	07/29/19
REVISION	
REVISION	
REVISION	

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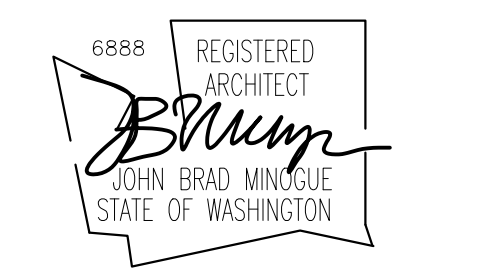
CS1.01

FEDERAL WAY TRAFFIC CONTROL CENTER
 33325 8TH AVE S,
 FEDERAL WAY, WA 98003

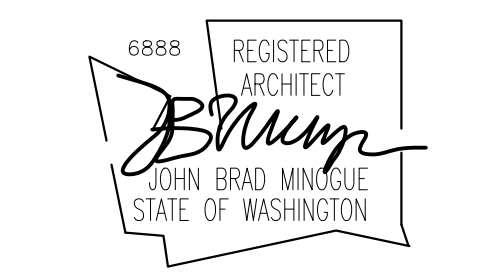
2476 Westlake Ave N
Suite # 102 - 98109
L: 206-283-0066
F: 206-782-7818
E: info@cross2dg.com
W: www.cross2dg.com

CROSS 2 DESIGN GROUP
Architecture ■ Building Envelope ■ Design

COVER SHEET



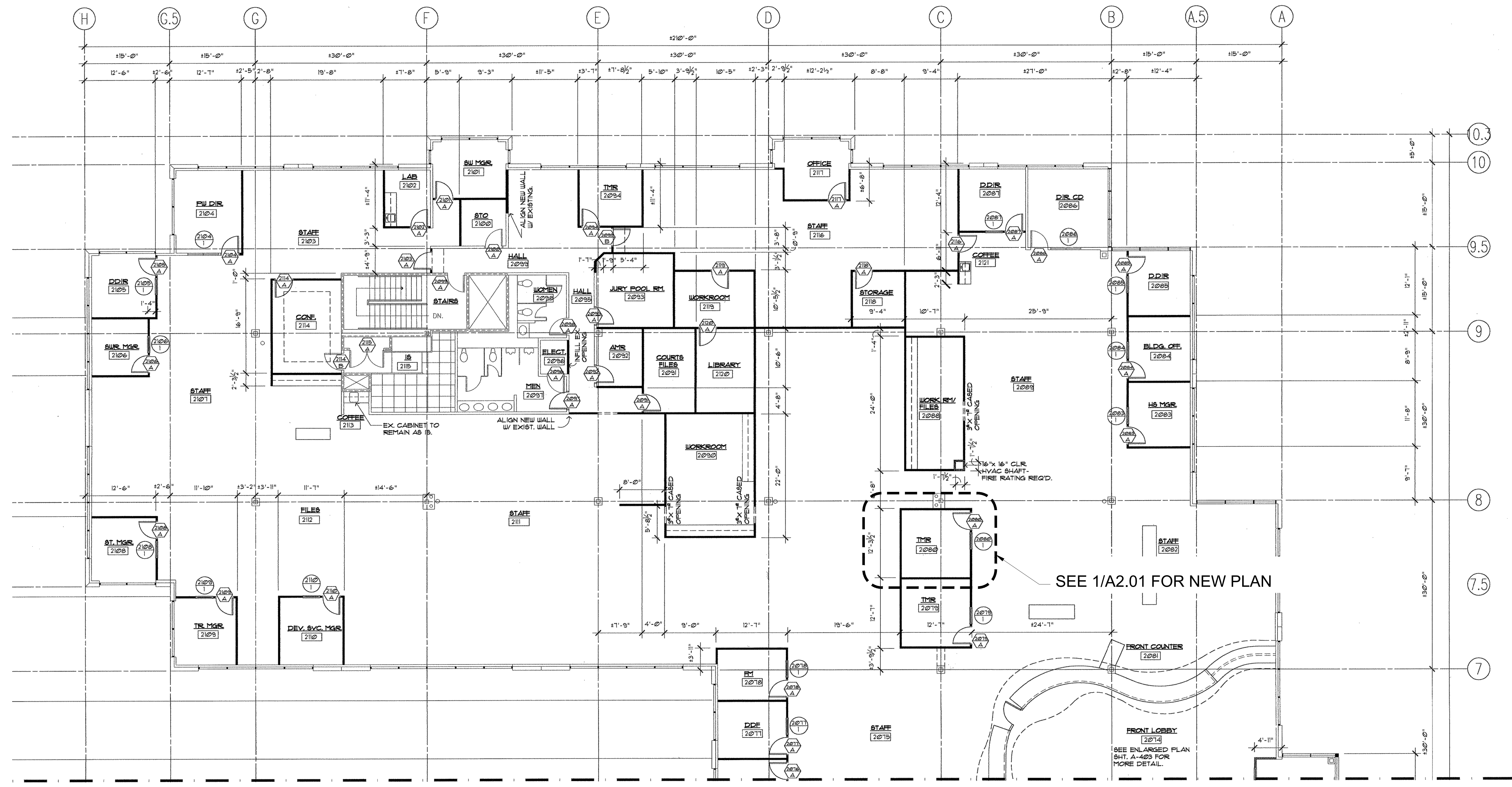
KEY PLAN



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A1.01



PARTIAL 2ND FLR
DIMENSION PLAN
SCALE: 1/8" = 1'-0"



- LEGEND**
- NEW 3 1/2" METAL STUDS @ 24" ON CENTER w/ 5/8" GWB ON EACH SIDE AND R-11 INSULATION. TOP OF WALL SHALL STOP @ CEILING LINE OR IMMEDIATELY ABOVE CEILING. WHEN SHOWN, ALIGN W/ EXISTING WALL.
 - NEW 3 1/2" METAL STUDS @ 24" ON CENTER w/ 5/8" GWB ON EACH SIDE AND R-11 INSULATION. EXTEND WALL TO CONCRETE DECK. SEE DETAIL XXX.
 - EX. WALLS TO REMAIN.

- NOTES:**
- ANY WALL INDICATED TO BE EXTENDED TO THE CEILING THAT INTERSECTS EXISTING DUCTWORK, OR HVAC EQUIPMENT SHALL BE TIGHT FIT AROUND THE DUCT OR EQUIPMENT AS DIRECTED BY THE CONSTRUCTION MANAGER. DO NOT OBSTRUCT ANY ACCESS PANELS OR ALTER DUCT INSULATION, IF ANY.
 - GWB CONTRACTOR SHALL PROVIDE (1) - 12x12 OPENING INTO EACH ROOM DESIGNATED AS HAVING FULL HEIGHT WALLS FOR USE BY HVAC CONTRACTOR.



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A2.01

GENERAL NOTES:

- A. PARTITION DIMENSIONS ARE TO FACE OF STUD / U.N.O.
- B. CONTRACTOR MUST USE EXTREME CARE DURING DEMOLITION AND CONSTRUCTION
- C. FIELD VERIFY ALL (E) DIMENSIONS & NOTIFY ARCHITECT OF DISCREPANCIES
- D. PER ICC/ANSI A 117.1 HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34" MIN. AND 48" MAX. ABOVE FLOOR.
- E. REFERENCE AND COORDINATE WITH CABINET MANUFACTURER DRAWINGS FOR ALL CASEWORK ITEMS
- F. EXPOSED STRUCTURE - BEAMS, COLUMNS & JOISTS- TO REMAIN
- G. PATCH AND REPAIR ALL (E) WALLS AS REQUIRED.
- H. DURING DEMO AND CONSTRUCTION, EXISTING FLOORING SHALL BE PROTECTED
- I. ALL WALL SURFACES TO BE CLEAN, FLUSH, AND FREE OF DEBRIS AND RESIDUE.

WALL LEGEND

- EXISTING WALLS / COLUMNS
- NEW 3/4" REMOVABLE PAINTED MDF PANELS TO ACCESS CABLING

FLOOR FINISH LEGEND:

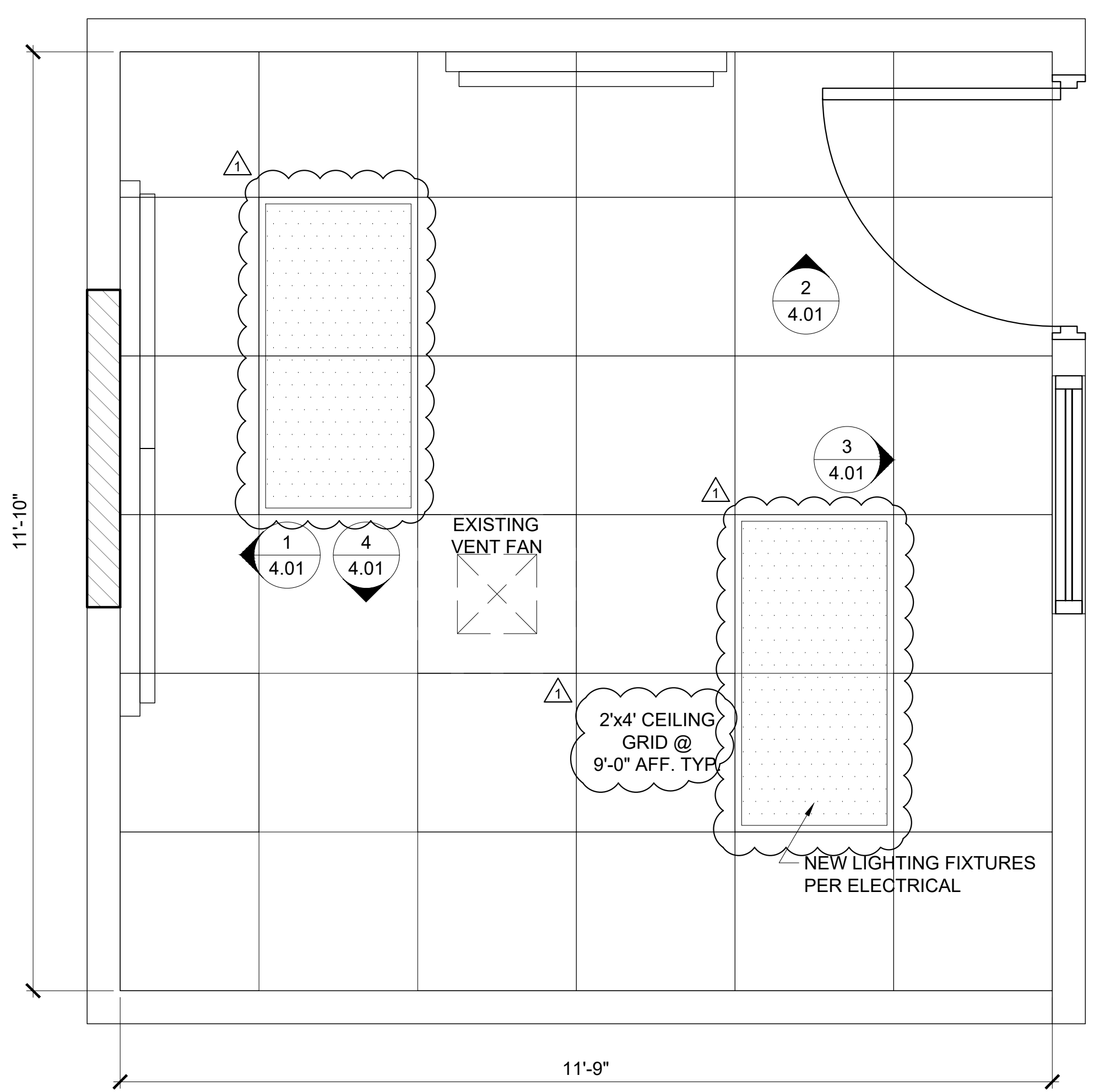
- (E) EXISTING FLOORING TO REMAIN

LIGHT FIXTURE LEGEND

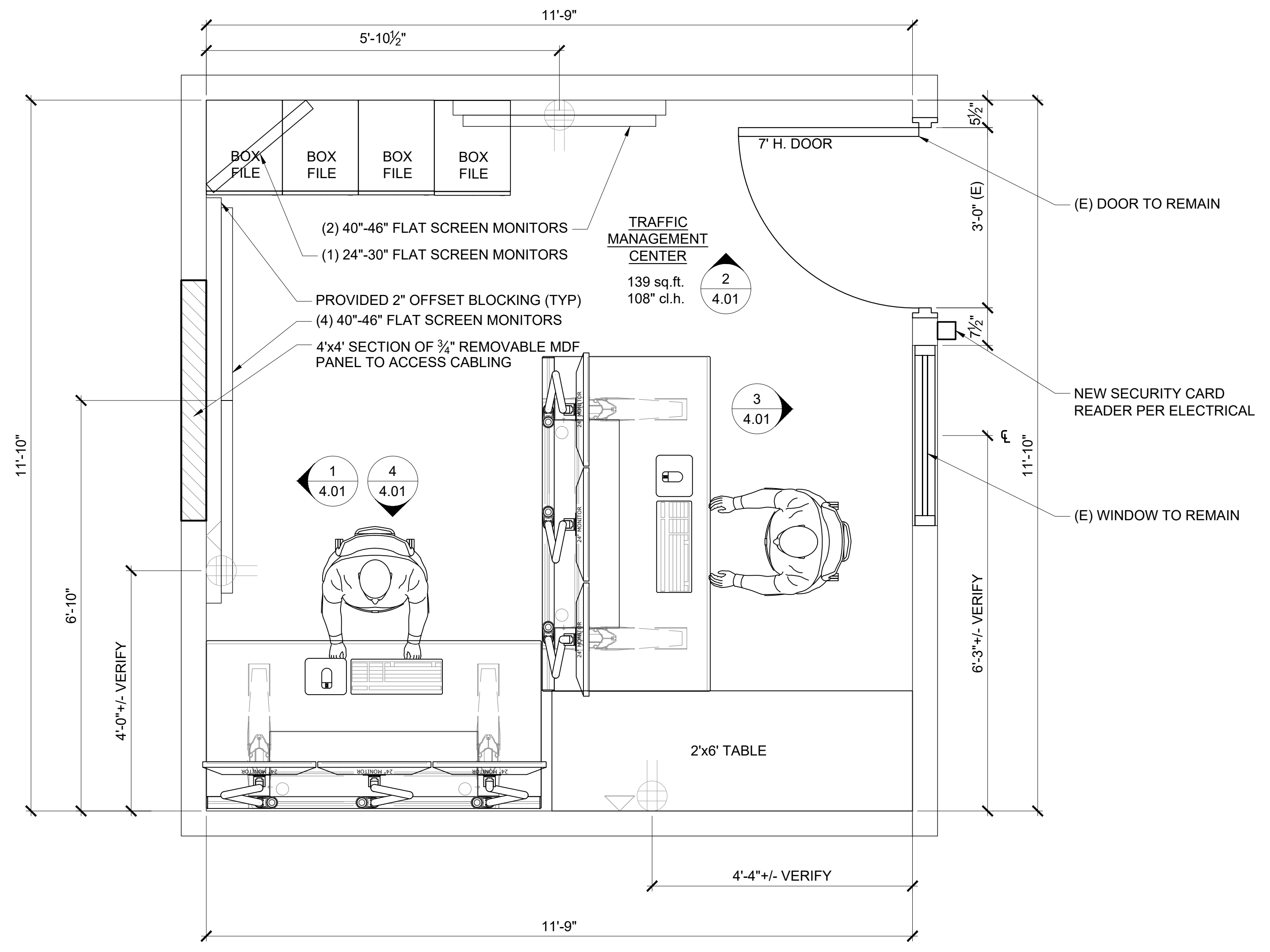
- NEW 2X2 DIMMABLE FLUORESCENT NON-GLARE UP LIGHTING

EXISTING ELECTRICAL LEGEND

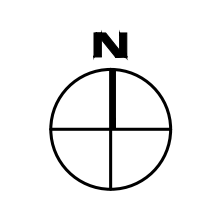
SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE: WALL MOUNTED
	DUPLEX RECEPTACLE (SPLIT CIRCUIT)
	TRIPLE DATA/COMM OUTLET: WALL MOUNTED



REFLECTED CEILING PLAN @ 2ND FLOOR
3/4" = 1'-0" 2



PROPOSED FLOOR PLAN @ 2ND FLOOR
3/4" = 1'-0" 1



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A3.01

GENERAL NOTES:

- A. PARTITION DIMENSIONS ARE TO FACE OF STUD / U.N.O.
- B. CONTRACTOR MUST USE EXTREME CARE DURING DEMOLITION AND CONSTRUCTION
- C. FIELD VERIFY ALL (E) DIMENSIONS & NOTIFY ARCHITECT OF DISCREPANCIES
- D. PER ICC/ANSI A 117.1 HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34" MIN. AND 48" MAX. ABOVE FLOOR.
- E. REFERENCE AND COORDINATE WITH CABINET MANUFACTURER DRAWINGS FOR ALL CASEWORK ITEMS
- F. EXPOSED STRUCTURE - BEAMS, COLUMNS & JOISTS- TO REMAIN
- G. PATCH AND REPAIR ALL (E) WALLS AS REQUIRED.
- H. DURING DEMO AND CONSTRUCTION, EXISTING FLOORING SHALL BE PROTECTED
- I. ALL WALL SURFACES TO BE CLEAN, FLUSH, AND FREE OF DEBRIS AND RESIDUE.

EXISTING ELECTRICAL LEGEND

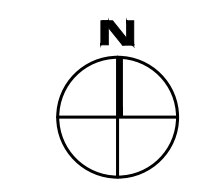
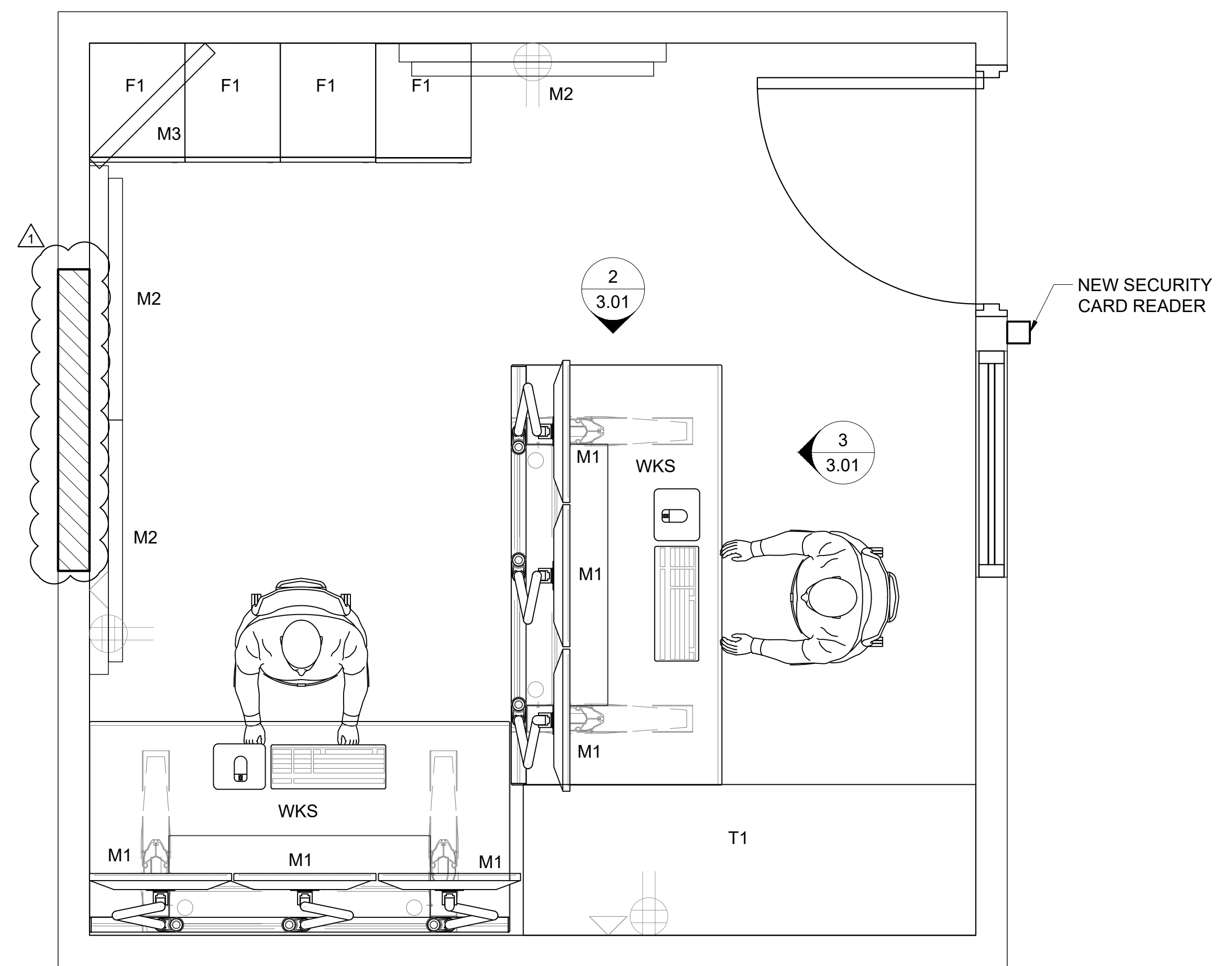
SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE: WALL MOUNTED
	DUPLEX RECEPTACLE (SPLIT CIRCUIT)
	TRIPLE DATA/COMM OUTLET: WALL MOUNTED

PROPOSED ELECTRICAL LEGEND

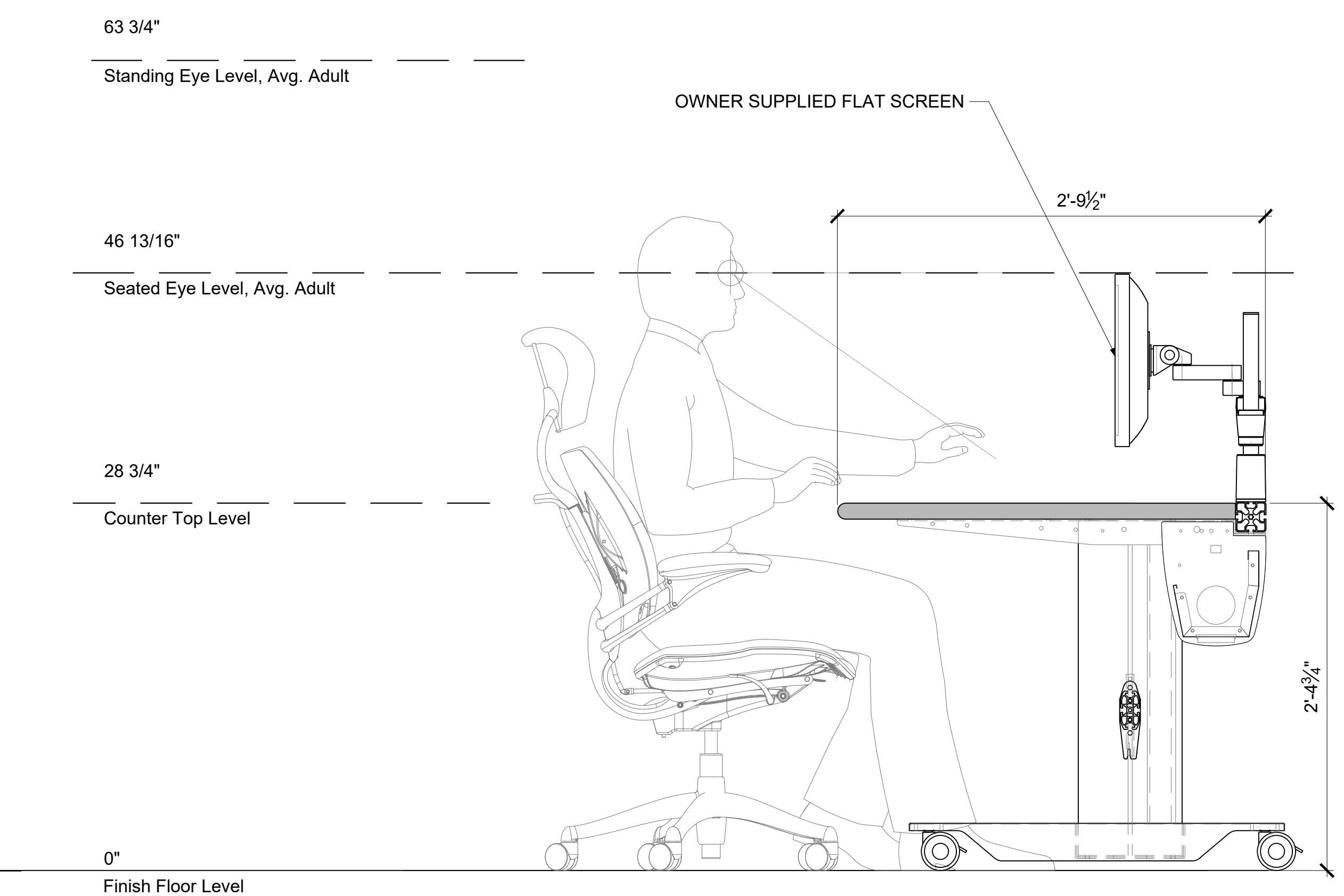
SYMBOL	DESCRIPTION
	CARD READER ACCESS
	DUPLEX RECEPTACLE: WALL MOUNTED
	TRIPLE DATA/COMM OUTLET: WALL MOUNTED

NEW FURNITURE / EQUIPMENT & CASEWORK LEGEND

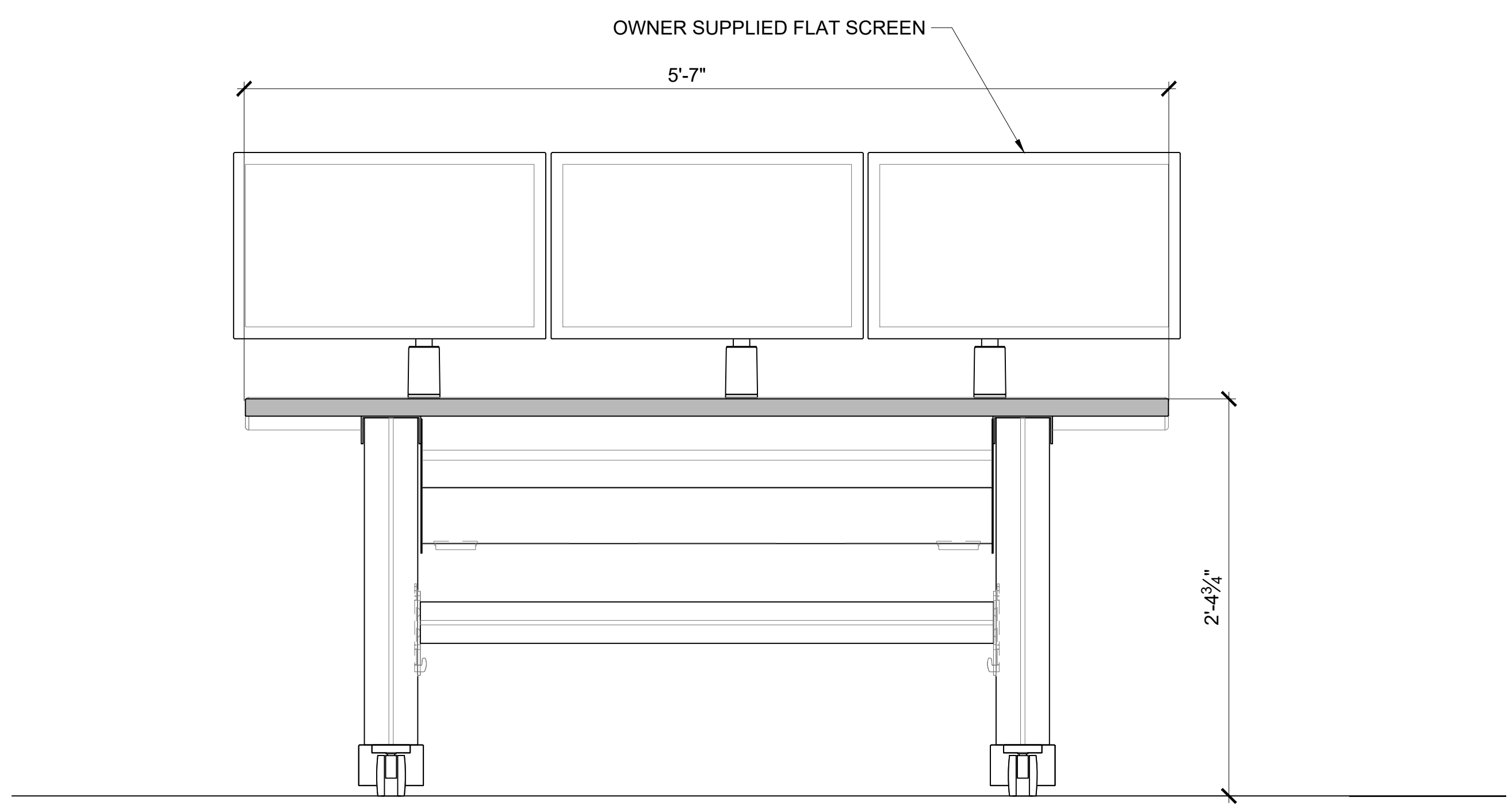
- WKS: WORKSTATION (RECOMMEND TBC ST2-LT OR SIMILAR BRAND AND MODEL)
- F1: PEDESTAL FILES (4) (RECOMMEND TBC 518-BBF-PED OR SIMILAR BRAND AND MODEL)
- M1: 24" MONITORS DESKTOP (6)
- M2: 40"-46" FLAT SCREEN WALL MOUNTED
- M3: 24"-30" FLAT SCREEN NON MOUNTED
- T1: 2'-0" W x 6'-0" L TABLE (RECOMMEND TMC OR SIMILAR BRAND)



PROPOSED FURNITURE PLAN @ 2ND FLOOR 1
3/4" = 1'-0"



WORKSTATION TBC ST2-LT SIDE ELEVATION 2
1-1/2" = 1'-0"



WORKSTATION TBC ST2-LT FRONT ELEVATION 3
3/4" = 1'-0"

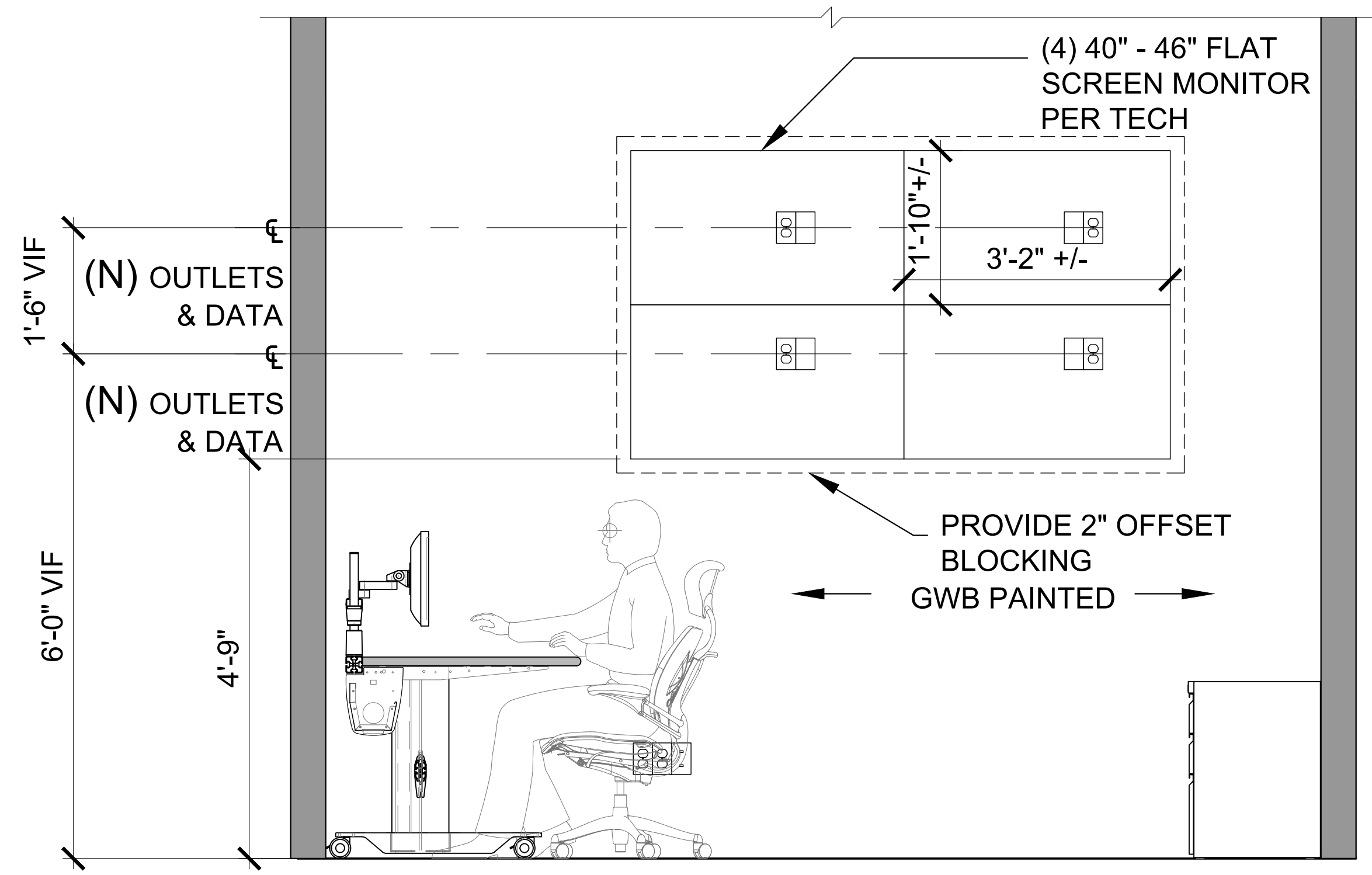
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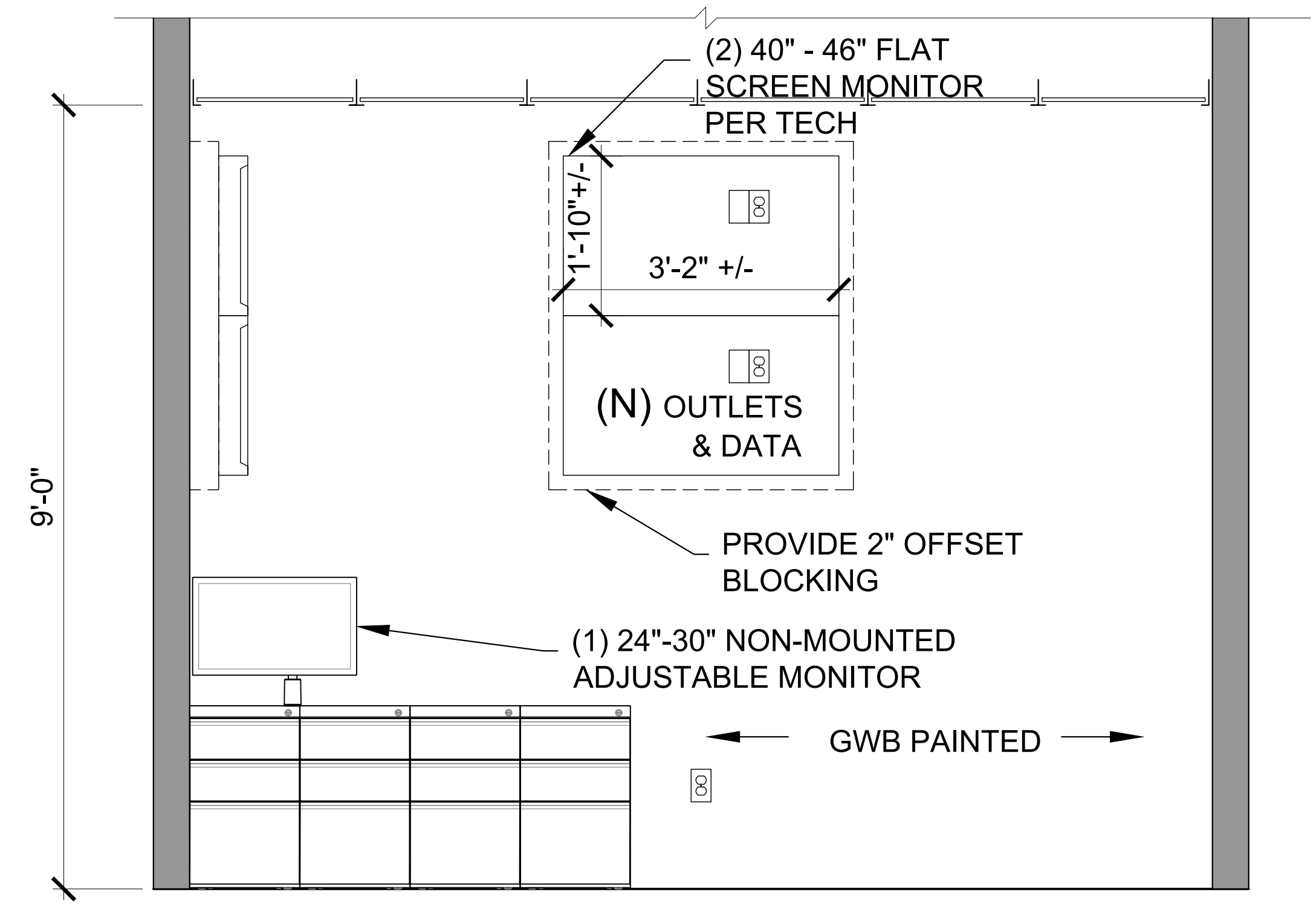
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CHECK	

A4.01

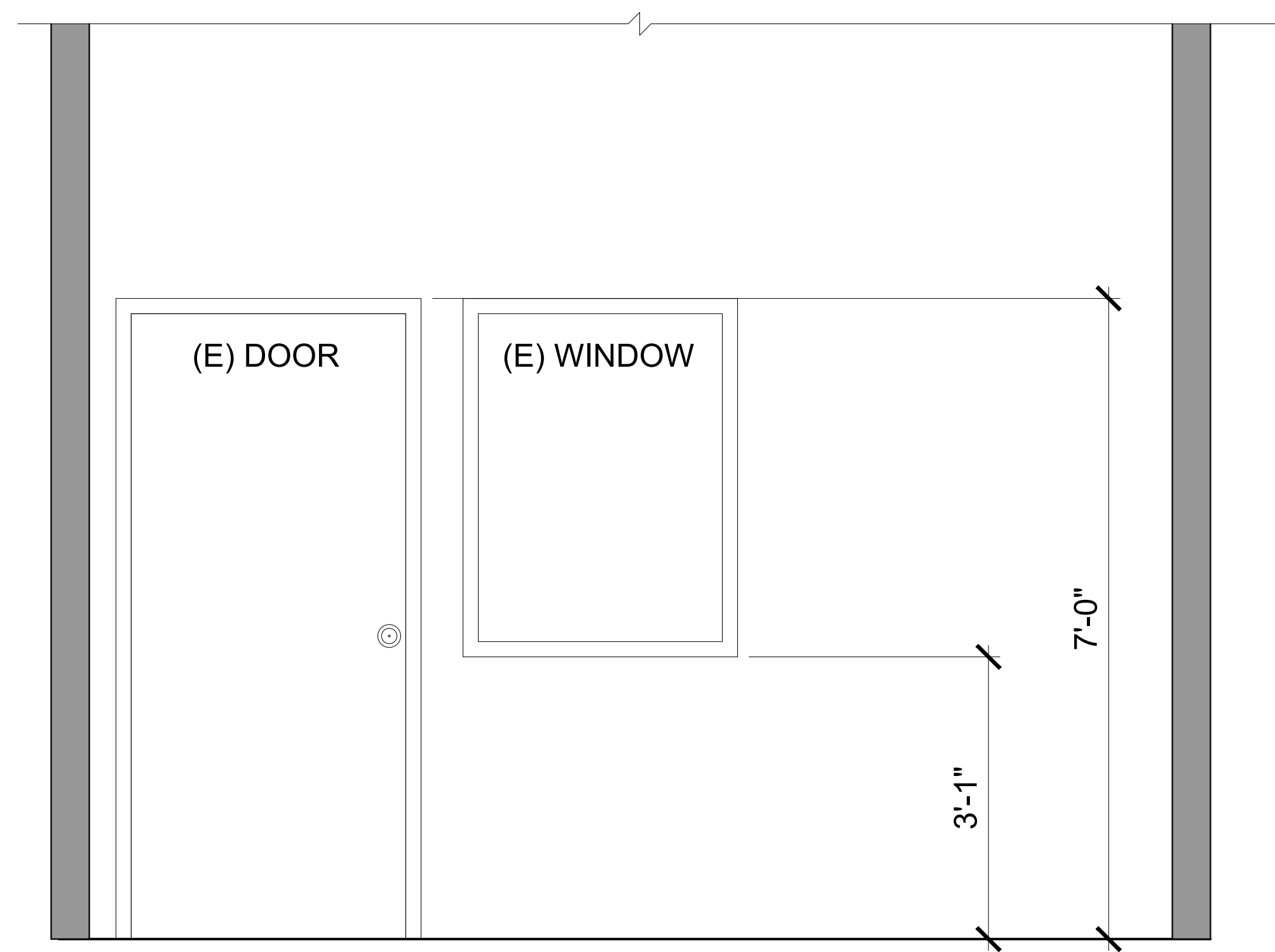
NOTE: FOR 2" OFFSET BLOCKING FASTEN 2"x4" BOARDS AT EACH END TO EXISTING STUDS PER CONTRACTOR'S REQUIREMENTS



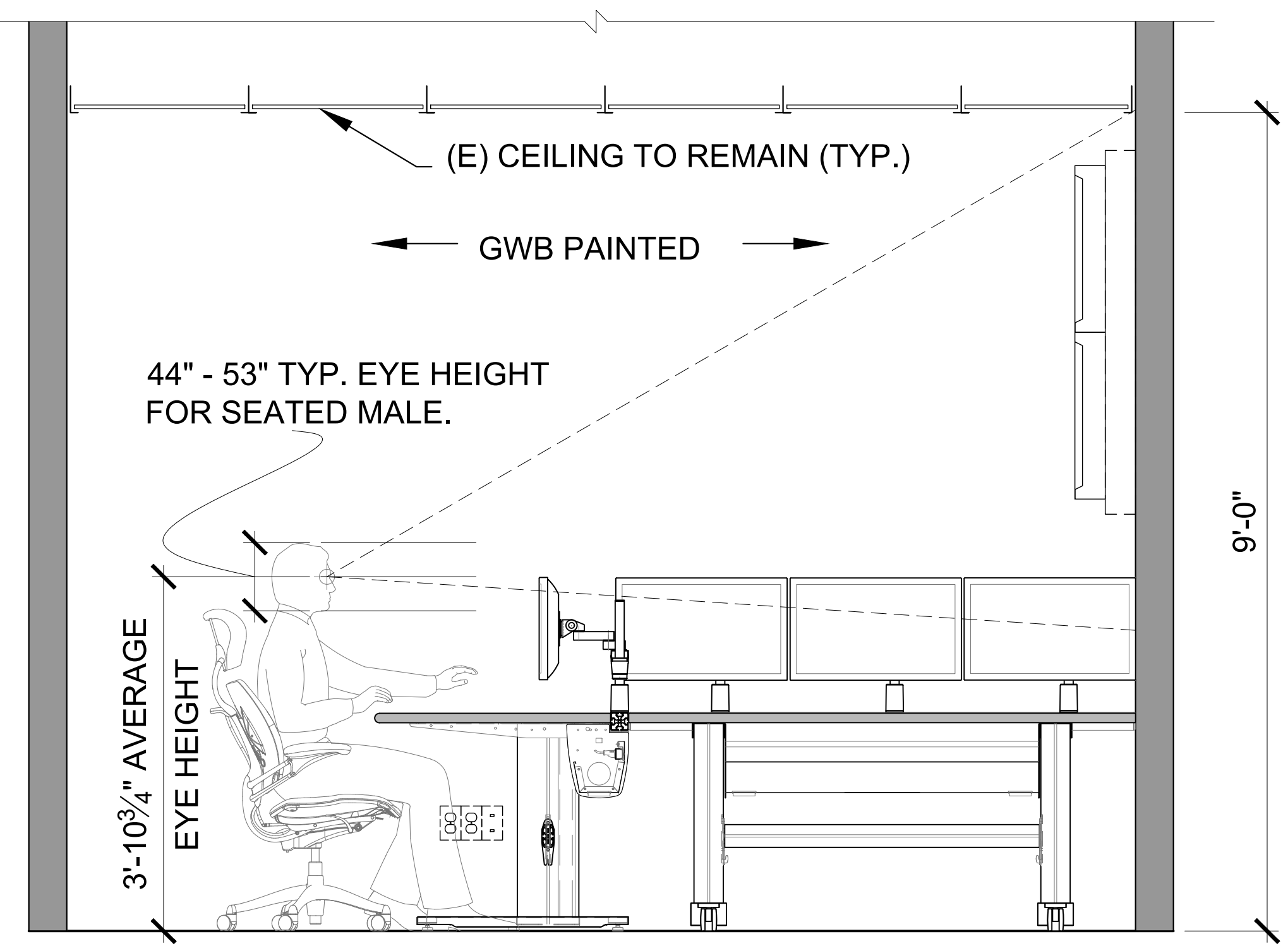
FRONT ELEVATION @ 2ND FLOOR
3/4" = 1'-0" 1



RIGHT ELEVATION @ 2ND FLOOR
3/4" = 1'-0" 2



REAR ELEVATION @ 2ND FLOOR
3/4" = 1'-0" 3



LEFT ELEVATION @ 2ND FLOOR
3/4" = 1'-0" 4