

# PRELIMINARY PLAT

## for

# WOODLANDS AT REDONDO CREEK

prepared for

**RMJ HOLDINGS, LLC**  
 9675 SE 36TH ST, STE 105  
 MERCER ISLAND, WA 98040

prepared by



33400 8th Ave S, Suite 205  
 FEDERAL WAY, WASHINGTON 98003  
 Phone: (253) 838-6113



ESM JOB NO. 1352-023-019  
 SHEET 1 OF 15

**PROJECT STATISTICS**

GROSS PLAT AREA: 21.85 AC (951,684 SF)  
 RIGHT-OF-WAY:  
 ROADS A, B & C  
 PERIMETER DEDICATION 3.30 AC (143,844 SF)  
 CRITICAL AREAS:  
 WETLAND A 0.65 AC (28,242 SF)  
 STREAM 0.08 AC (3,354 SF)  
 PROPOSED BUFFERS 4.17 AC (181,759 SF)  
 PUBLIC PURPOSE LANDS:  
 TRACTS B, C, D, E, F,  
 G, H, I 4.45 AC (193,969 SF)  
 NET PLAT AREA: 9.42 AC (410,363 SF)

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15	L1.7	CITY PLANTING DETAILS

**SITE DATA**

SITE ADDRESS: 19XX S 304TH ST  
 FEDERAL WAY, WA 98003  
 PARCEL NUMBER: 042104-9012, -9221  
 SITE AREA: 21.85 AC (951,684 SF)  
 EXISTING USE: VACANT  
 PROPOSED USE: 68 SINGLE-FAMILY LOTS

**ZONING**

042104-9012: RM1800/RSS.0  
 042104-9221: RS7.2

**COMPREHENSIVE PLAN**

042104-9012: MULTI-FAMILY/SINGLE-FAMILY  
 042104-9221: SINGLE-FAMILY

**DEVELOPMENT STANDARDS (RS 5.0)**

MIN. LOT SIZE: 5,000 SF  
 SETBACKS:  
 FRONT: 20'  
 REAR: 5'  
 SIDE: 5'  
 SIDE (CORNER): 10'  
 BUILDING HEIGHT: 30' ABE  
 MAX. LOT COVERAGE: 60%

### Vicinity Map



**APPLICANT/PROPERTY OWNER**

RMJ HOLDINGS, LLC  
 9675 SE 36TH ST, STE 105  
 MERCER ISLAND, WA 98040  
 (206) 588-1147  
 CONTACT: DMITRY MAYZLIN

**WETLAND BIOLOGIST**

SEWALL WETLAND CONSULTING, INC  
 PO BOX 880  
 FALL CITY, WA 98024  
 (253) 859-0515  
 CONTACT: ED SEWALL, P.W.S.

**TRANSPORTATION ENGINEER**

TRAFFEX  
 11410 NE 124TH ST, STE 590  
 KIRKLAND, WA 98034  
 (425) 522-4118  
 CONTACT: LARRY HOBBS, P.E.

**GEOTECHNICAL ENGINEER**

ASSOCIATED EARTH SCIENCES, INC  
 911 5TH AVE  
 KIRKLAND, WA 98033  
 (425) 827-7701  
 CONTACT: KURT MERRIMAN, P.E.

**UTILITY PROVIDERS**

SEWER: LAKEHAVEN UTILITY DISTRICT  
 WATER: LAKEHAVEN UTILITY DISTRICT  
 POWER: PUGET SOUND ENERGY  
 GAS: PUGET SOUND ENERGY  
 TELEPHONE: CENTURY LINK  
 FIRE: SOUTH KING FIRE AND RESCUE  
 SCHOOL: FEDERAL WAY SCHOOL DISTRICT #210

**ENGINEER/PLANNER/SURVEYOR**

ESM CONSULTING ENGINEERS, LLC  
 33400 8TH AVE S, STE 205  
 FEDERAL WAY, WA 98003  
 (253) 838-6113  
 CONTACT: CLARK KUNITSU, P.E.  
 CONTACT: ZACK LENNON, P.L.S.

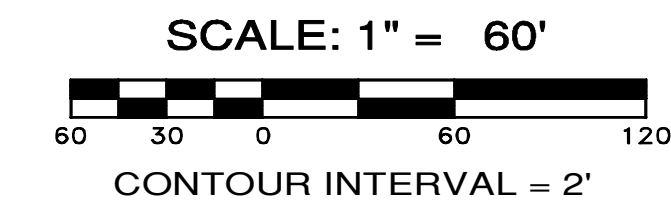
**LANDSCAPE ARCHITECT**

LYON LANDSCAPE ARCHITECTS  
 1015 PACIFIC AVE, #203  
 TACOMA, WA 98402  
 (253) 678-4173  
 CONTACT: MOGHAN LYON, P.L.A.

RESUBMITTED

Apr 09 2020

CITY OF FEDERAL WAY  
 COMMUNITY DEVELOPMENT



**LEGEND**

- BOLLARD
- MAILBOX
- INFORMATION SIGN
- ⊙ SANITARY SEWER MANHOLE
- ⊕ STORM DRAIN CATCH BASIN
- ⊖ STORM DRAIN MANHOLE
- ▣ YARD DRAIN
- GUY ANCHOR
- ⊗ ELECTRICAL METER
- ⊕ POWER POLE
- ⊗ POWER POLE W/LIGHT
- ⊕ POWER POLE W/TRANSFORMER
- ⊗ POWER POLE W/TJB
- ⊕ TELEPHONE JUNCTION BOX (UG)
- TELEPHONE POLE
- ⊕ FIRE HYDRANT
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ GAS VALVE
- ⊕ FOUND MONUMENT (VISITED 10/29/2015)
- ⊕ REFERENCE TO TITLE EXCEPTIONS
- DRAINAGE DITCH
- WETLAND EDGE
- WETLAND BUFFER
- FENCE, CYCLONE
- FENCE, WOOD
- FENCE, HOG WIRE
- GUARDRAIL
- DHP POWER, OVERHEAD
- D STORM
- S SANITARY SEWER
- W WATER
- G NATURAL GAS

**BASIS OF HORIZONTAL DATUM:**

WASHINGTON COORDINATE SYSTEM (WCS) - NORTH ZONE (BASED UPON NAD 83/2011) UTILIZING THE WASHINGTON STATE REFERENCE NETWORK (WSRN) IN JUNE OF 2019.

**BASIS OF VERTICAL DATUM:**

NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) BASED ON CITY OF FEDERAL WAY SURVEY CONTROL MONUMENT FW-101, BEING A MONUMENT IN CASE AT THE INTERSECTION OF SW 320TH ST. AND 8TH AVE. S. ELEVATION: 421.83 FEET.

**LEGAL DESCRIPTION:**

PARCEL A: THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 21 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON, LYING EAST OF PACIFIC HIGHWAY SOUTH; EXCEPT THE SOUTH HALF THEREOF LYING WEST OF THE EAST 610 FEET THEREOF; EXCEPT THE EAST 330 FEET OF THE NORTH 183 FEET THEREOF; EXCEPT THE SOUTH 30 FEET THEREOF FOR SOUTH 304TH STREET. AND EXCEPT THAT PORTION CONVEYED TO THE CITY OF FEDERAL WAY BY SPECIAL WARRANTY DEED RECORDED DECEMBER 9, 2009 AS RECORDING NO. 20091209000856

PARCEL B: THE WEST 135 FEET OF THE EAST 465 FEET OF THE SOUTH 117 FEET OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 21 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON.

**EXCEPTIONS FROM TITLE**

- SUBJECT TO THAT EASEMENT FOR WATER PIPELINE AND THE TERMS AND CONDITIONS THEREOF AS CONTAINED IN INSTRUMENT RECORDED UNDER RECORDING NO. 133341. THE LOCATION OF EASEMENT CANNOT BE PLOTTED.
- SUBJECT TO THAT EASEMENT FOR UTILITY PROPOSES AND THE TERMS AND CONDITIONS THEREOF AS CONTAINED IN INSTRUMENT RECORDED UNDER RECORDING NO. 2279404. DESCRIPTION OF THIS EASEMENT IS BLANKET IN NATURE AND CANNOT BE PLOTTED.
- SUBJECT TO THAT EASEMENT FOR SEWER MAINS AND THE TERMS AND CONDITIONS THERE AS CONTAINED IN INSTRUMENT RECORDED UNDER RECORDING NO. 6382268. THE LOCATION OF SAID EASEMENT IS DEPICTED HEREIN.
- SUBJECT TO THAT EASEMENT FOR WATER MAINS AND THE TERMS AND CONDITIONS THEREOF AS CONTAINED IN INSTRUMENT RECORDED UNDER RECORDING NO. 6500949. THE LOCATION OF SAID EASEMENT IS DEPICTED HEREIN.

**EXCEPTIONS FROM TITLE (CONT'D)**

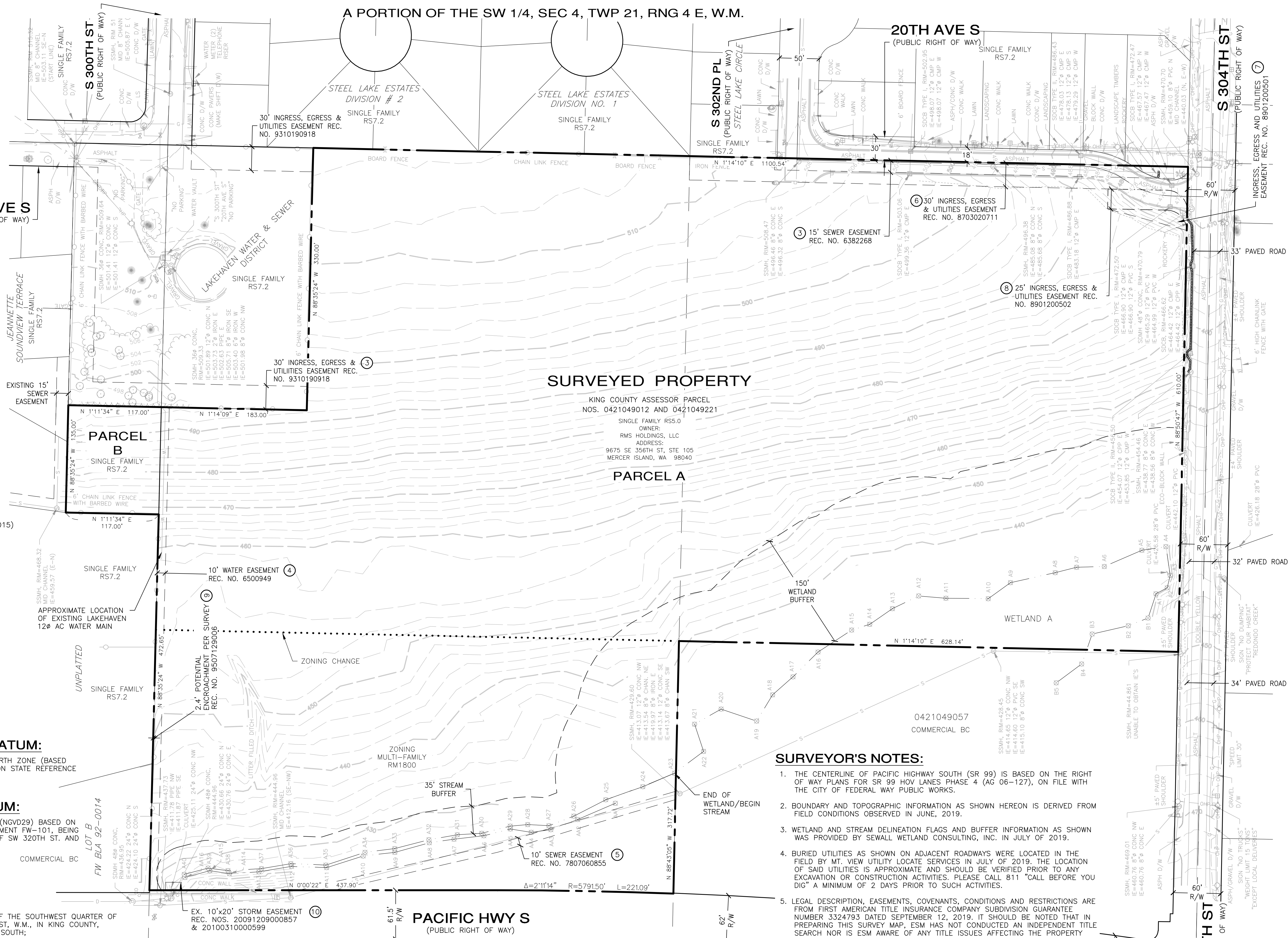
- SUBJECT TO THAT EASEMENT FOR SEWER MAINS AND THE TERMS AND CONDITIONS THEREOF AS CONTAINED IN INSTRUMENT RECORDED UNDER RECORDING NO. 7807060855. THE LOCATION OF SAID EASEMENT IS DEPICTED HEREIN.
- SUBJECT TO THAT EASEMENT FOR INGRESS, EGRESS AND UTILITY PROPOSES AND THE TERMS AND CONDITIONS THEREOF AS CONTAINED IN INSTRUMENT RECORDED UNDER RECORDING NO. 8703020711. THE LOCATION OF SAID EASEMENT IS DEPICTED HEREIN.
- SUBJECT TO THAT EASEMENT FOR INGRESS, EGRESS AND UTILITIES AND THE TERMS AND CONDITIONS THEREOF AS CONTAINED IN INSTRUMENT RECORDED UNDER RECORDING NO. 8901200501. THE LOCATION OF SAID EASEMENT IS DEPICTED HEREIN.
- SUBJECT TO THAT EASEMENT FOR INGRESS, EGRESS AND UTILITY PROPOSES AND THE TERMS AND CONDITIONS THEREOF AS CONTAINED IN INSTRUMENT RECORDED UNDER RECORDING NO. 8901200502. THE LOCATION OF SAID EASEMENT IS DEPICTED HEREIN.

**EXCEPTIONS FROM TITLE (CONT'D)**

- SUBJECT TO THE CONDITIONS, NOTES, EASEMENTS, PROVISIONS AND/OR ENCROACHMENTS CONTAINED OR DELINEATED ON THE FACE OF THE SURVEY RECORDED UNDER RECORDING NO. 9507129006. THE LOCATION OF SAID ENCROACHMENT IS DEPICTED HEREIN.
- SUBJECT TO THAT EASEMENT FOR STORM WATER AND THE TERMS AND CONDITIONS THEREOF AS CONTAINED IN INSTRUMENT RECORDED UNDER RECORDING NO. 20091209000857 AND RE-RECORDED UNDER RECORDING NO. 20100310000599. THE LOCATION OF SAID EASEMENT IS DEPICTED HEREIN.

**SURVEYOR'S NOTES:**

- THE CENTERLINE OF PACIFIC HIGHWAY SOUTH (SR 99) IS BASED ON THE RIGHT OF WAY PLANS FOR SR 99 HOV LANES PHASE 4 (AG 06-127), ON FILE WITH THE CITY OF FEDERAL WAY PUBLIC WORKS.
- BOUNDARY AND TOPOGRAPHIC INFORMATION AS SHOWN HEREON IS DERIVED FROM FIELD CONDITIONS OBSERVED IN JUNE, 2019.
- WETLAND AND STREAM DELINEATION FLAGS AND BUFFER INFORMATION AS SHOWN WAS PROVIDED BY SEWALL WETLAND CONSULTING, INC. IN JULY OF 2019.
- BURIED UTILITIES AS SHOWN ON ADJACENT ROADWAYS WERE LOCATED IN THE FIELD BY MT. VIEW UTILITY LOCATE SERVICES IN JULY OF 2019. THE LOCATION OF SAID UTILITIES IS APPROXIMATE AND SHOULD BE VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES. PLEASE CALL 811 "CALL BEFORE YOU DIG" A MINIMUM OF 2 DAYS PRIOR TO SUCH ACTIVITIES.
- LEGAL DESCRIPTION, EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS ARE FROM FIRST AMERICAN TITLE INSURANCE COMPANY SUBDIVISION GUARANTEE NUMBER 3324793 DATED SEPTEMBER 12, 2019. IT SHOULD BE NOTED THAT IN PREPARING THIS SURVEY MAP, ESM HAS NOT CONDUCTED AN INDEPENDENT TITLE SEARCH NOR IS ESM AWARE OF ANY TITLE ISSUES AFFECTING THE PROPERTY OTHER THAN THOSE SHOWN ON THIS MAP. ESM HAS WHOLLY RELIED ON THE ABOVE REFERENCED TITLE REPORT TO PREPARE THIS SURVEY AND THEREFORE QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.



REVISIONS		
NO.	DESCRIPTION/DATE	BY
0	FIRST SUBMITTAL	ESM
1	SECOND SUBMITTAL	ESM

**ESM CONSULTING ENGINEERS, LLC**  
 32400 8th Ave S, Suite 203  
 Federal Way, WA 98003  
 www.esmcivil.com

FEDERAL WAY (253) 838-6113  
 Everett (425) 357-9999

Civil Engineering | Land Surveying | Project Management | Landscape Architecture  
 Public Works | Landscaping Architecture

**RMJ HOLDINGS, LLC**  
**THE WOODLANDS AT REDONDO CREEK**  
 EXISTING CONDITIONS

CITY OF FEDERAL WAY

JOBS NO.: 1352-023-019  
 DWG. NAME: PP-02  
 DESIGNED BY: CTK  
 DRAWN BY: GTF  
 CHECKED BY: GTF  
 DATE: 04/01/2020  
 DATE OF PRINT:

**PP-02**  
 2 OF 15 SHEETS

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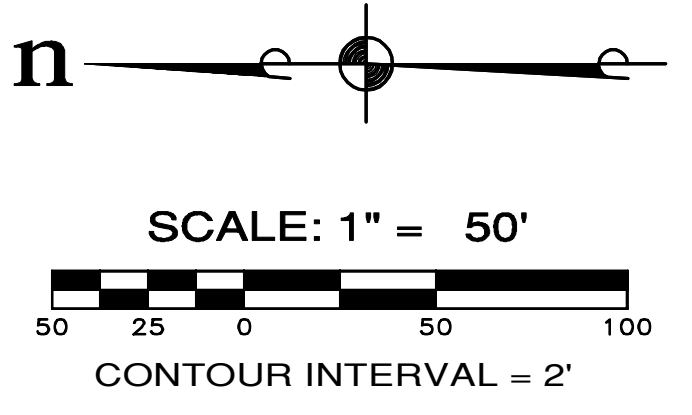
A PORTION OF THE SW 1/4, SEC 4, TWP 21, RNG 4 E, W.M.



LOT AREA TABLE		LOT AREA TABLE		LOT AREA TABLE		LOT AREA TABLE	
LOT #	AREA (S.F.)	LOT #	AREA (S.F.)	LOT #	AREA (S.F.)	LOT #	AREA (S.F.)
1	6,006	18	5,619	35	5,257	52	5,250
2	5,368	19	5,880	36	5,250	53	5,441
3	5,315	20	9,579	37	5,250	54	5,712
4	5,362	21	7,611	38	5,250	55	6,166
5	6,366	22	6,661	39	5,250	56	9,095
6	7,136	23	6,783	40	5,250	57	9,727
7	6,293	24	7,060	41	5,250	58	7,884
8	5,081	25	8,677	42	5,937	59	5,983
9	5,673	26	6,748	43	5,887	60	6,589
10	7,426	27	5,506	44	5,690	61	7,419
11	6,178	28	5,510	45	5,250	62	5,316
12	5,892	29	5,510	46	5,250	63	6,297
13	5,504	30	5,510	47	5,250	64	6,136
14	5,500	31	5,510	48	5,250	65	5,780
15	5,327	32	6,060	49	5,250	66	5,855
16	5,322	33	6,652	50	5,300	67	6,541
17	6,967	34	5,445	51	5,250		

TRACT AREA TABLE		
TRACT	AREA (S.F.)	TRACT USE
TRACT A	206766	CRITICAL AREA TRACT / NGPA
TRACT B	28896	OPEN SPACE
TRACT C	94470	STORM
TRACT D	31667	CONSERVATION OPEN SPACE
TRACT E	14807	USABLE OPEN SPACE
TRACT F	9062	USABLE OPEN SPACE
TRACT G	4054	OPEN SPACE
TRACT H	6590	LANDSCAPE BUFFER
TRACT I	3203	USABLE OPEN SPACE

LOT NET AREA PANHANDLE LOTS	
LOT #	AREA (S.F.)
10	6,592
17	6,061
20	8,970
57	8,896
61	6,254



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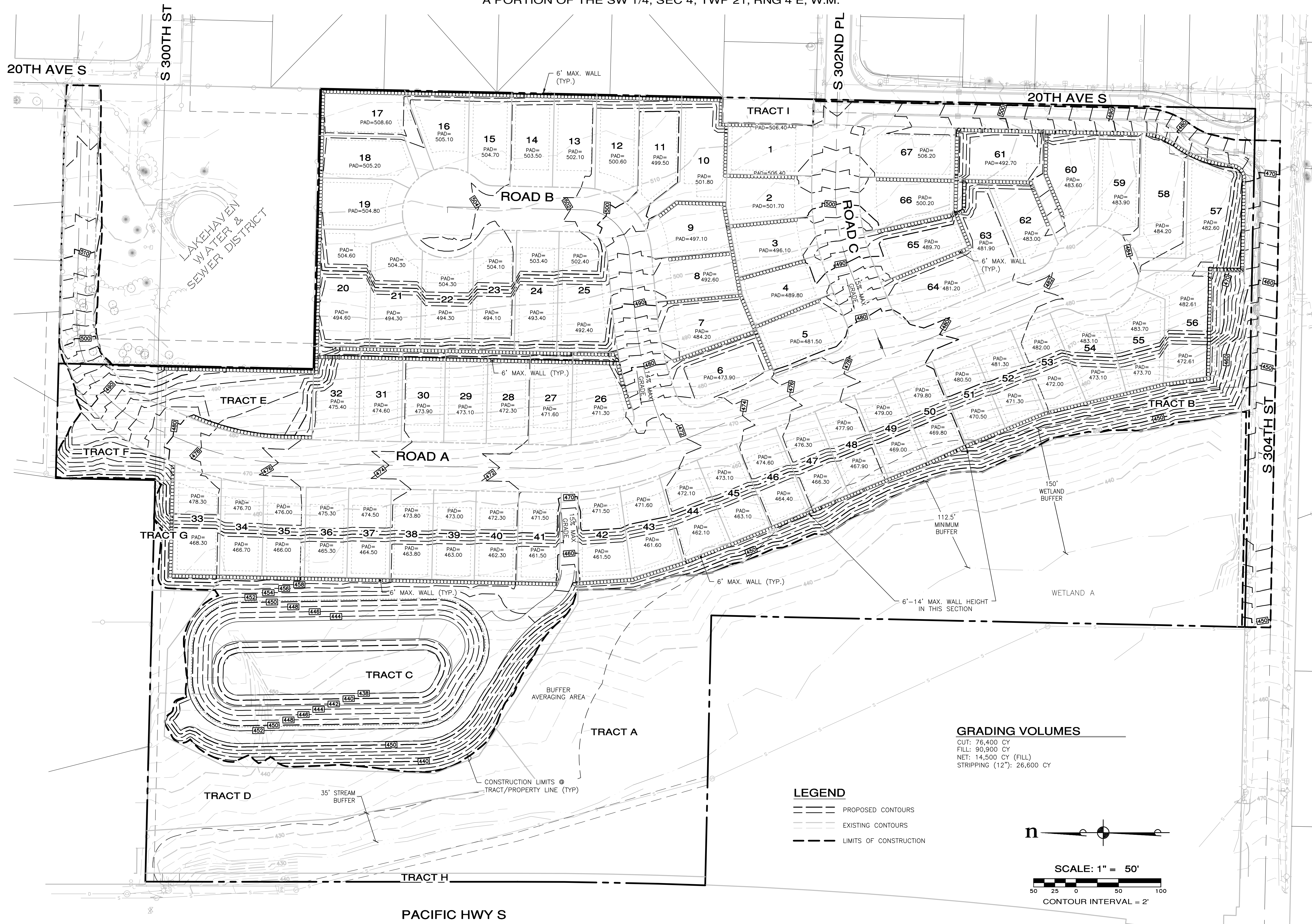
**RMJ HOLDINGS, LLC**  
**THE WOODLANDS AT REDONDO CREEK**  
 PRELIMINARY SITE PLAN  
 CITY OF FEDERAL WAY WASHINGTON

JOB NO.: 1352-023-019  
 DWG. NAME: PP-03  
 DESIGNED BY: CLK  
 DRAWN BY: GFF  
 CHECKED BY:  
 DATE: 04/01/2020  
 DATE OF PRINT:

**PP-03**  
 3 OF 15 SHEETS

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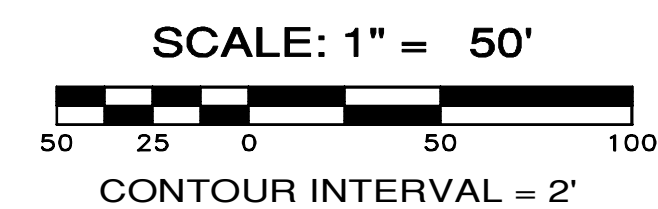
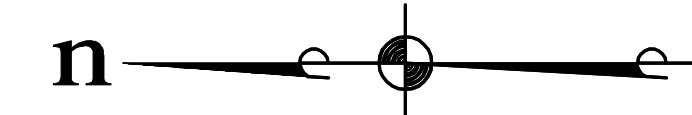


**GRADING VOLUMES**

CUT: 76,400 CY  
 FILL: 90,900 CY  
 NET: 14,500 CY (FILL)  
 STRIPPING (12"): 26,600 CY

**LEGEND**

- PROPOSED CONTOURS
- EXISTING CONTOURS
- LIMITS OF CONSTRUCTION



REVISIONS		
NO.	DESCRIPTION/DATE	BY
0	FIRST SUBMITTAL	ESM
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 332400 8th Ave S, Suite 203  
 Federal Way, WA 98003  
 www.esmcivil.com

Professional Engineer  
 License No. 51088  
 State of Washington  
 04/03/2020

Land Planning  
 Land Surveying  
 Project Management  
 Landscape Architecture  
 Public Works

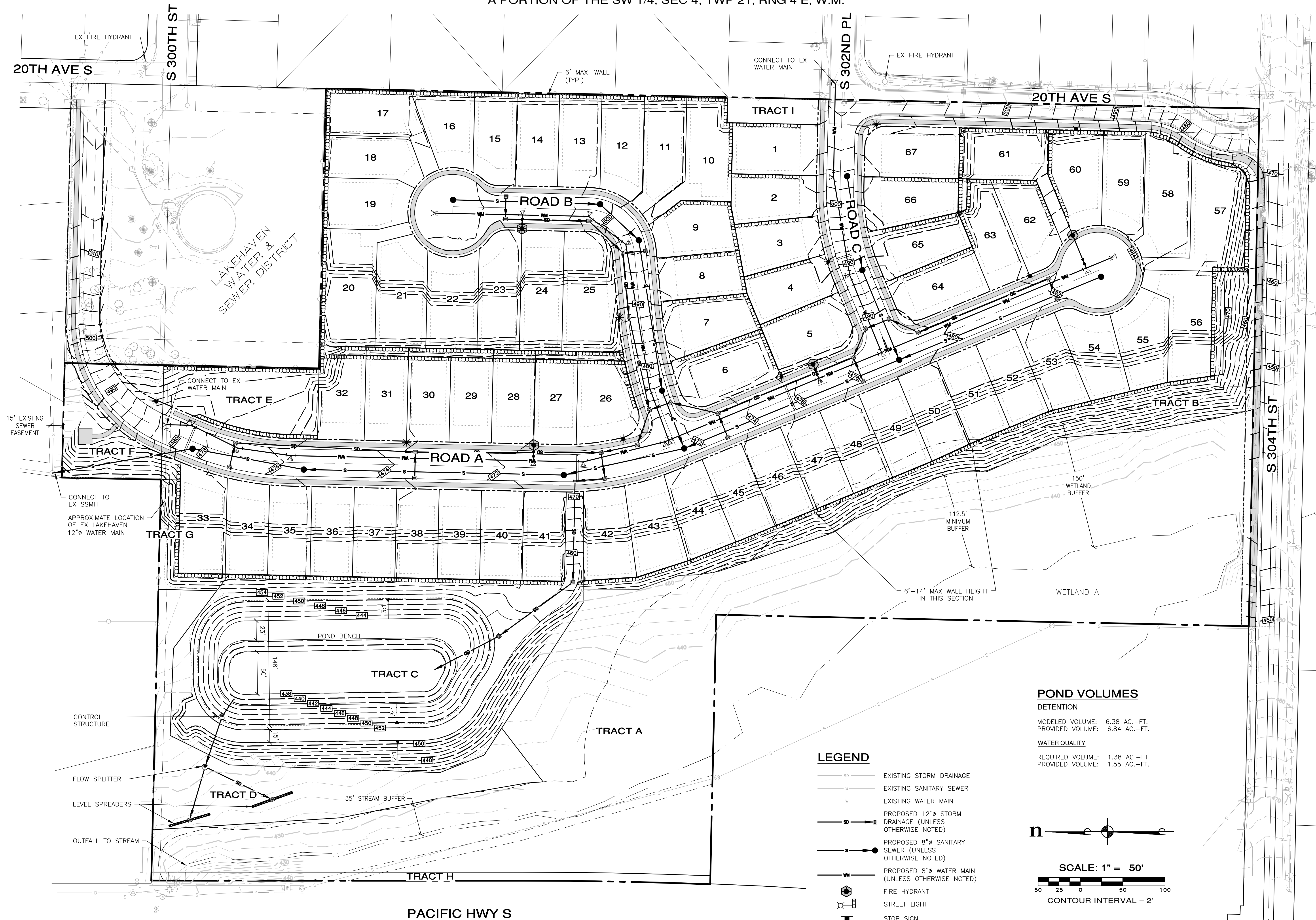
**RMJ HOLDINGS, LLC**  
**THE WOODLANDS AT REDONDO CREEK**  
 PRELIMINARY GRADING PLAN  
 CITY OF FEDERAL WAY WASHINGTON

JOB NO.: 1352-023-019  
 DWG. NAME: PP-04  
 DESIGNED BY: CLK  
 DRAWN BY: GFF  
 CHECKED BY:  
 DATE: 04/01/2020  
 DATE OF PRINT:

**PP-04**  
 4 OF 15 SHEETS

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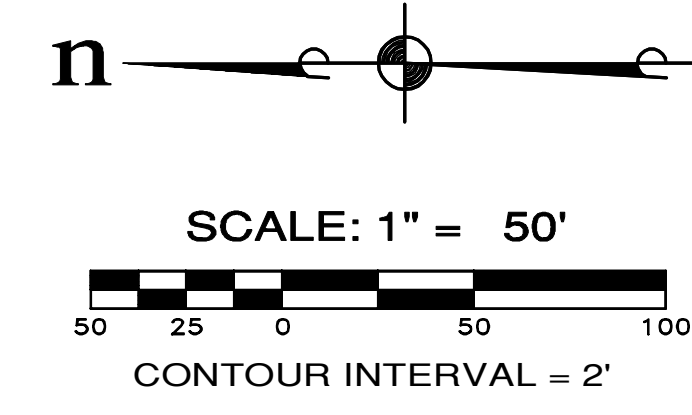
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 Plotted By: Don Lipp

- LEGEND**
- SD — EXISTING STORM DRAINAGE
  - S — EXISTING SANITARY SEWER
  - WM — EXISTING WATER MAIN
  - SD — PROPOSED 12" STORM DRAINAGE (UNLESS OTHERWISE NOTED)
  - S — PROPOSED 8" SANITARY SEWER (UNLESS OTHERWISE NOTED)
  - WM — PROPOSED 8" WATER MAIN (UNLESS OTHERWISE NOTED)
  - ⊕ — FIRE HYDRANT
  - ⊙ — STREET LIGHT
  - — STOP SIGN

**POND VOLUMES**  
 DETENTION  
 MODELED VOLUME: 6.38 AC.-FT.  
 PROVIDED VOLUME: 6.84 AC.-FT.  
 WATER QUALITY  
 REQUIRED VOLUME: 1.38 AC.-FT.  
 PROVIDED VOLUME: 1.55 AC.-FT.



REVISIONS		
NO.	DESCRIPTION/DATE	BY
0	FIRST SUBMITTAL 10/22/2019	ESM
1	SECOND SUBMITTAL 04/01/2020	ESM

04/03/2020

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**RMJ HOLDINGS, LLC**  
**THE WOODLANDS AT REDONDO CREEK**  
 PRELIMINARY UTILITY PLAN  
 CITY OF FEDERAL WAY WASHINGTON

JOB NO.: 1352-023-019  
 DWG. NAME: PP-05  
 DESIGNED BY: CTK  
 DRAWN BY: GFF  
 CHECKED BY:  
 DATE: 04/01/2020  
 DATE OF PRINT:  
**PP-05**  
 5 OF 15 SHEETS

FILE NO. 19-105072-00-SU

**SIGHT DISTANCE CALCULATIONS**

PER 2011 AASHTO SEC. 9.5

POSTED SPEED = 30 MPH (304TH ST)  
 = 25 MPH (ALL OTHER STREETS)

DESIGN SPEED = 35 MPH (304TH ST)  
 = 30 MPH (ALL OTHER STREETS)

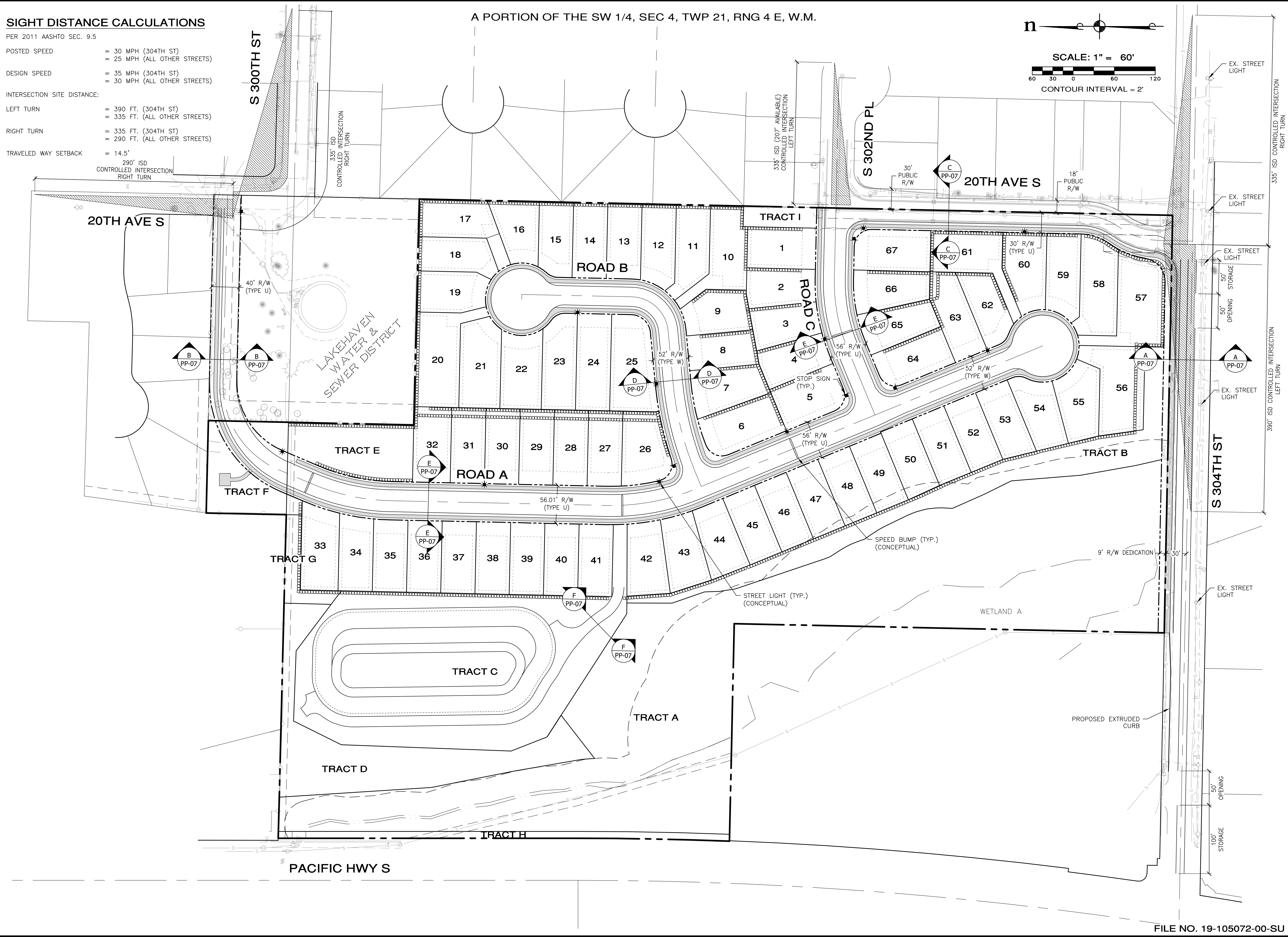
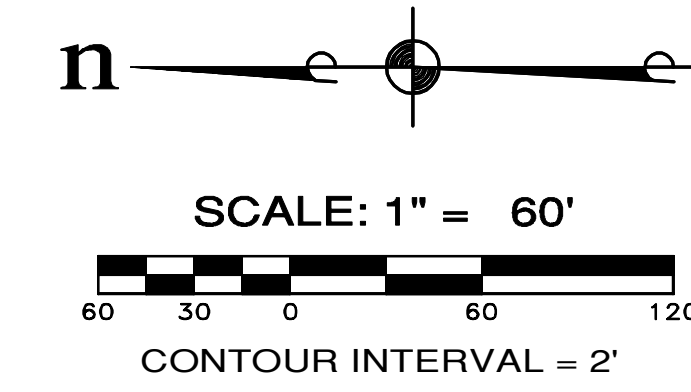
INTERSECTION SITE DISTANCE:

LEFT TURN = 390 FT. (304TH ST)  
 = 335 FT. (ALL OTHER STREETS)

RIGHT TURN = 335 FT. (304TH ST)  
 = 290 FT. (ALL OTHER STREETS)

TRAVELED WAY SETBACK = 14.5'  
 290' ISD CONTROLLED INTERSECTION RIGHT TURN

A PORTION OF THE SW 1/4, SEC 4, TWP 21, RNG 4 E, W.M.



REVISIONS		
NO.	DESCRIPTION/DATE	BY
0	FIRST SUBMITTAL 10/22/2019	ESM
1	SECOND SUBMITTAL 04/01/2020	ESM

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 33400 8th Ave S, Suite 203  
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Professional Engineer  
 License No. 51088  
 State of Washington  
 04/03/2020

Land Planning  
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**RMJ HOLDINGS, LLC**

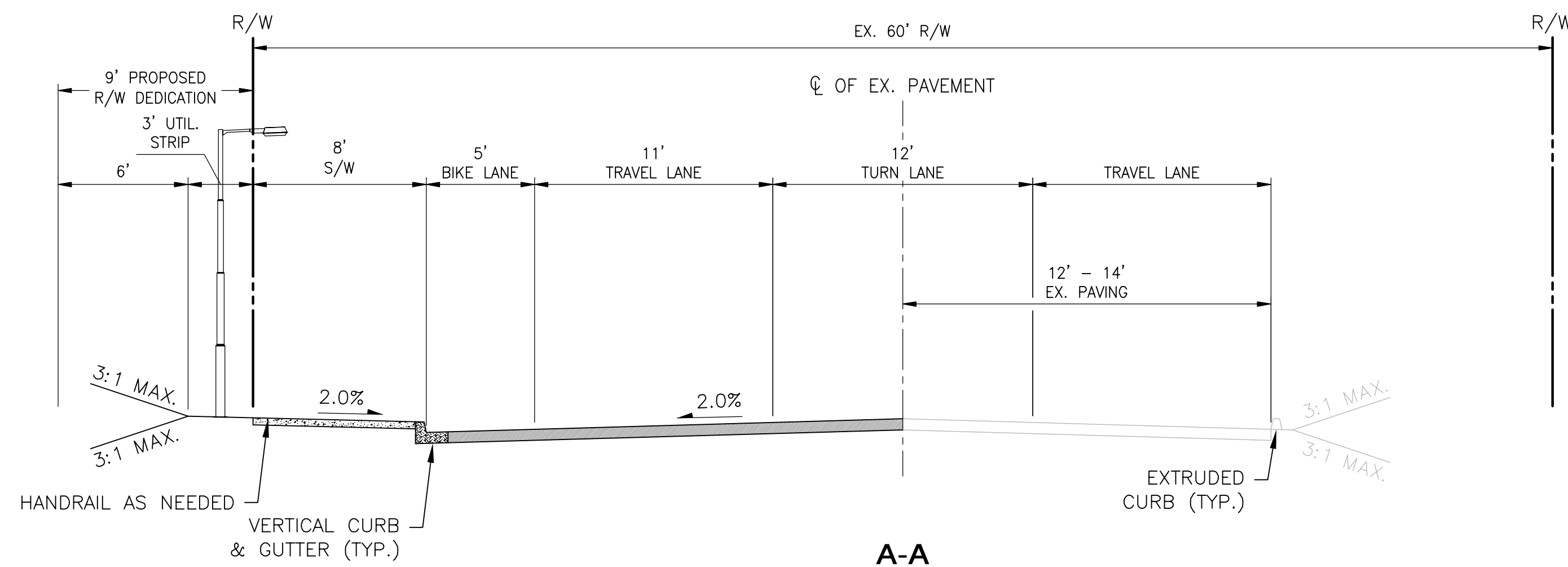
**THE WOODLANDS AT REDONDO CREEK**  
 PRELIMINARY CHANNELIZATION PLAN

CITY OF FEDERAL WAY WASHINGTON

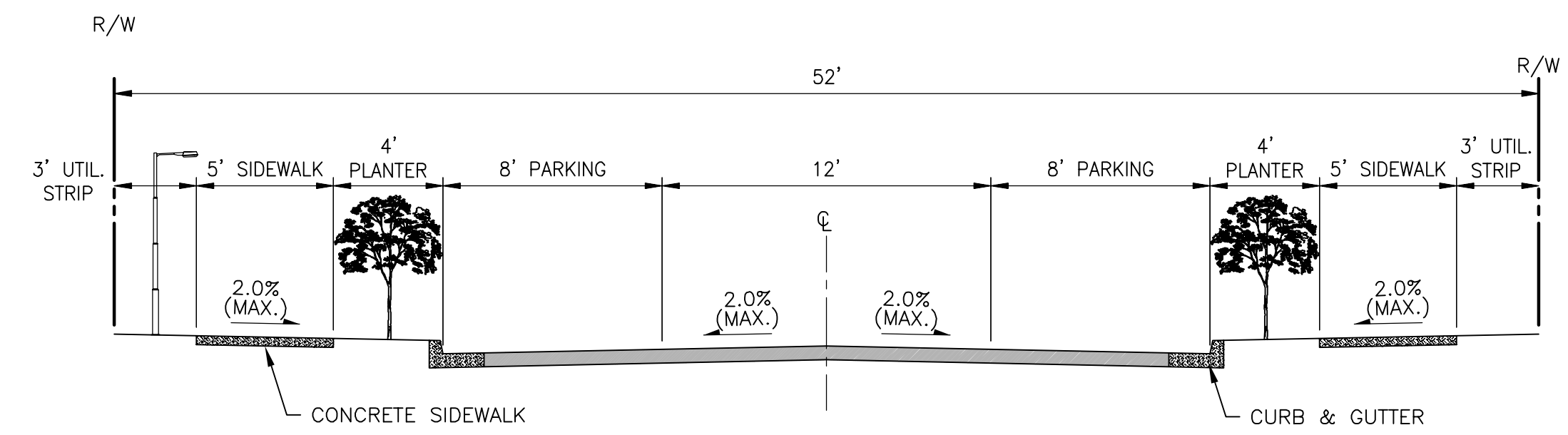
JOB NO.: 1352-023-019  
 DWG. NAME: PP-06  
 DESIGNED BY: CLK  
 DRAWN BY: OFF  
 CHECKED BY:  
 DATE: 04/01/2020  
 DATE OF PRINT:

**PP-06**  
 6 OF 15 SHEETS

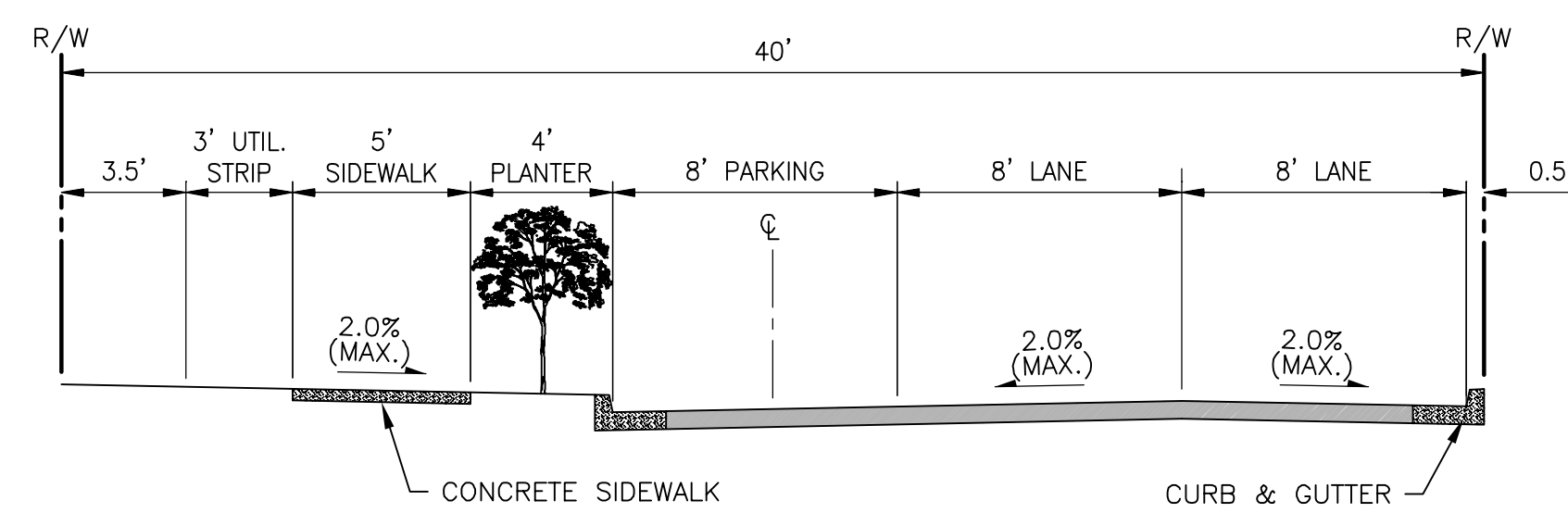
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 Plotted By: Don Lipp



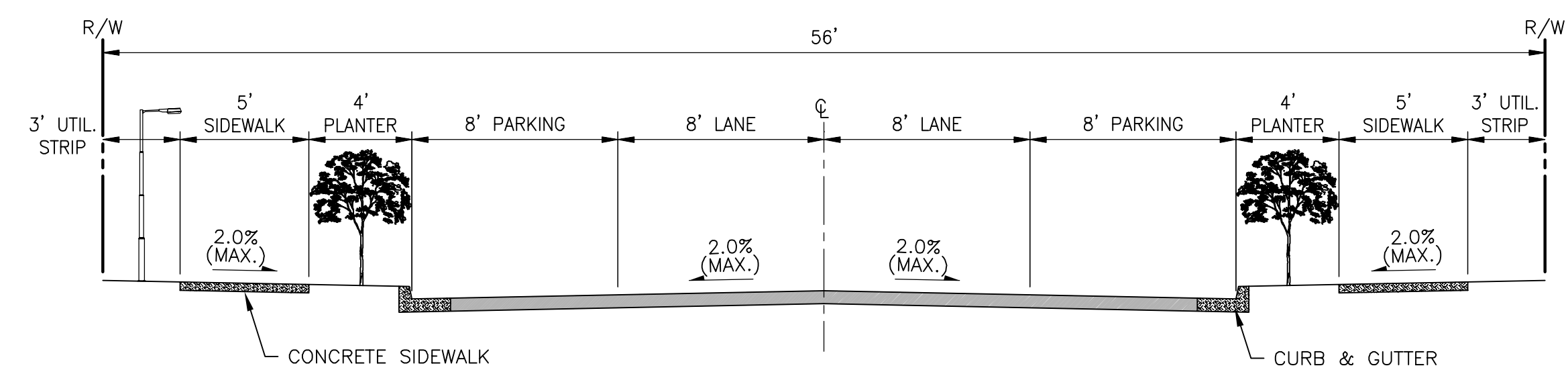
**A-A**  
**HALF STREET TYPE K**  
**MODIFIED PRINCIPAL/COLLECTOR**  
 SCALE: 1" = 5'



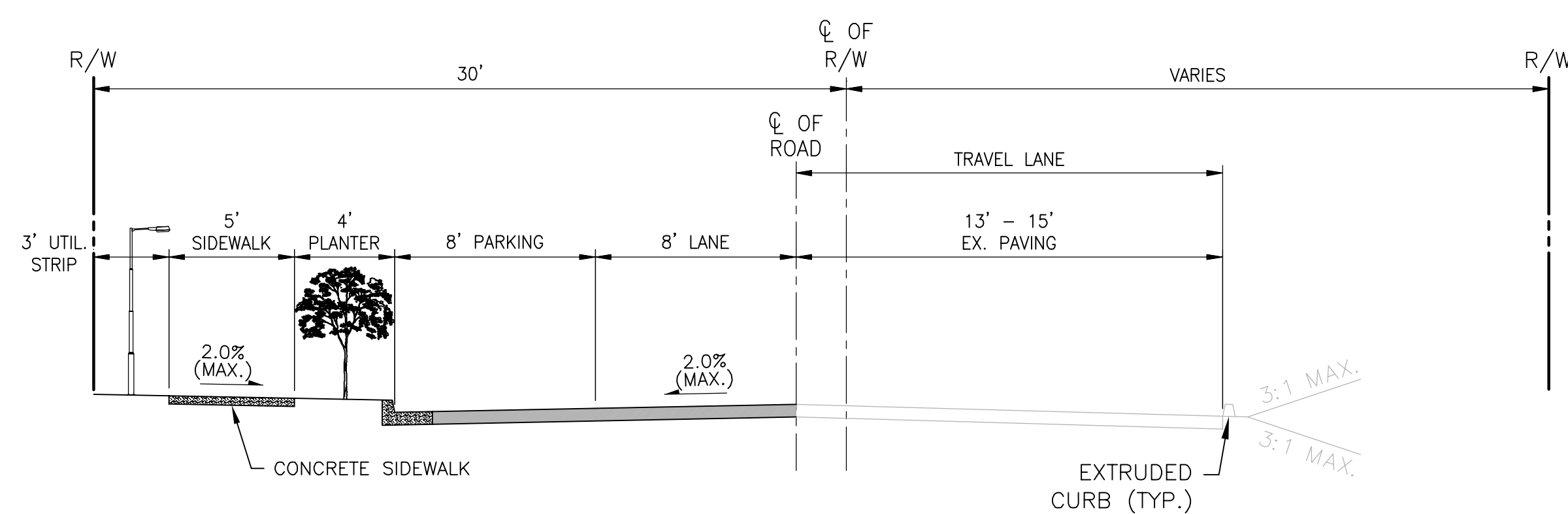
**D-D**  
**TYPE W**  
**LOCAL RESIDENTIAL ROAD SECTION**  
 SCALE: 1" = 5'



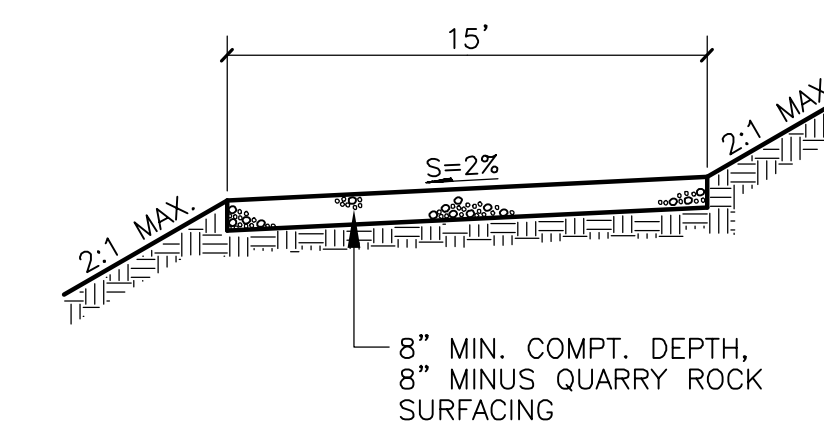
**B-B**  
**MODIFIED TYPE U**  
**LOCAL RESIDENTIAL ROAD SECTION**  
 SCALE: 1" = 5'



**E-E**  
**TYPE U**  
**LOCAL RESIDENTIAL ROAD SECTION**  
 SCALE: 1" = 5'



**C-C**  
**HALF STREET TYPE U**  
**LOCAL RESIDENTIAL ROAD SECTION**  
 SCALE: 1" = 5'



**F-F**  
**MAINTENANCE ROAD**  
 NOT TO SCALE

REVISIONS		
NO.	DESCRIPTION/DATE	BY
0	FIRST SUBMITTAL	ESM
1	SECOND SUBMITTAL	ESM

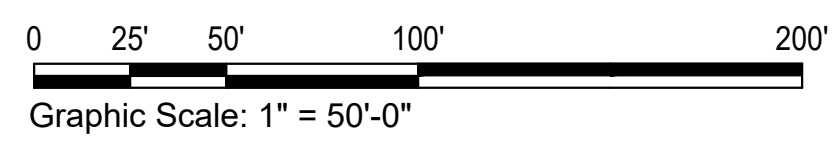
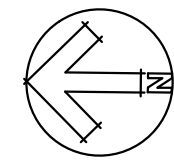
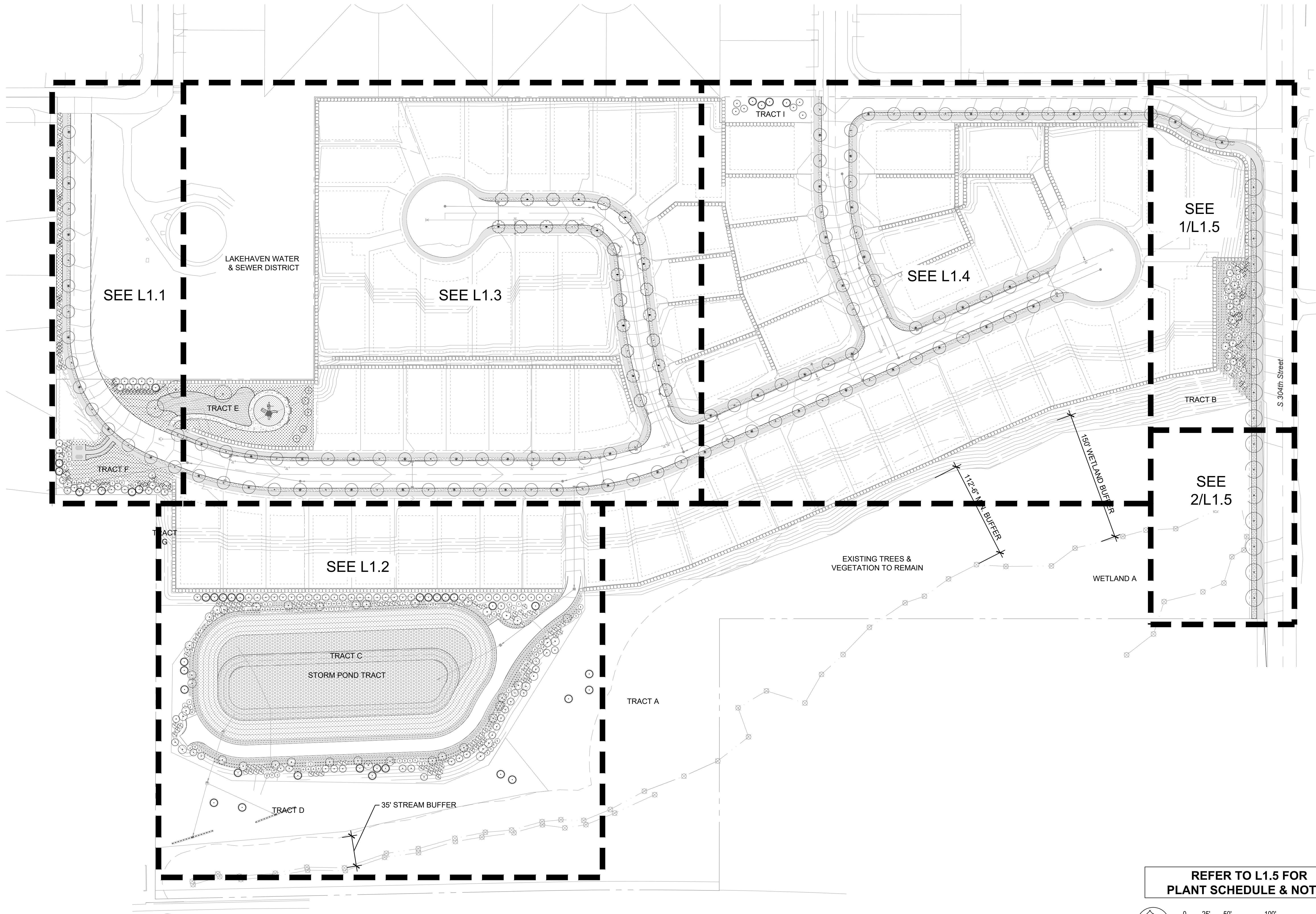


**ESM CONSULTING ENGINEERS, LLC**  
 FEDERAL WAY PROJECT  
 33400 8th Ave S, Suite 203  
 Federal Way, WA 98003  
 www.esmcivil.com  
 Civil Engineering  
 Public Works  
 Land Surveying  
 Project Management  
 Land Planning  
 Landscape Architecture

**RMJ HOLDINGS, LLC**  
**THE WOODLANDS AT REDONDO CREEK**  
 WASHINGTON  
 CITY OF FEDERAL WAY  
 DETAILS & NOTES

JOB NO.:	1352-023-019
DWG. NAME:	PP-07
DESIGNED BY:	CTK
DRAWN BY:	OFF
CHECKED BY:	
DATE:	04/01/2020
DATE OF PRINT:	

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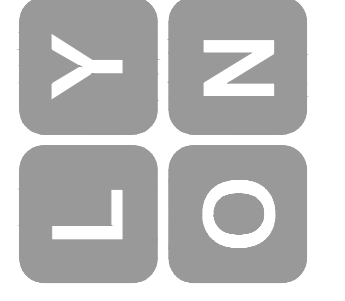
**REFER TO L1.5 FOR  
PLANT SCHEDULE & NOTES**

**Preliminary Plat Submittal - Not for Construction**

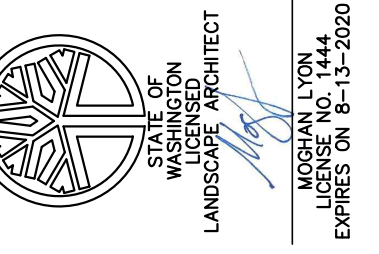
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DATE: March 27, 2020	DRAWN:	ML	
PROJECT: Woodlands @ Redondo Creek	CHECKED:	ML	
PROJECT NUMBER: LLA0180.19	NUMBER:		

**Overall Landscape Plan**

**Lyon Landscape Architects**  
1015 Pacific Avenue, Ste 203  
Tacoma, WA 98402  
253-209-4053  
Moghan@LyonLA.com



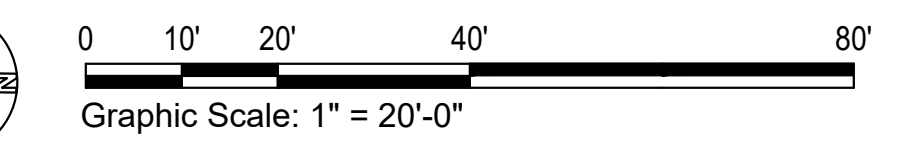
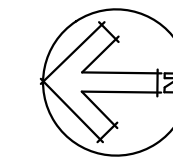
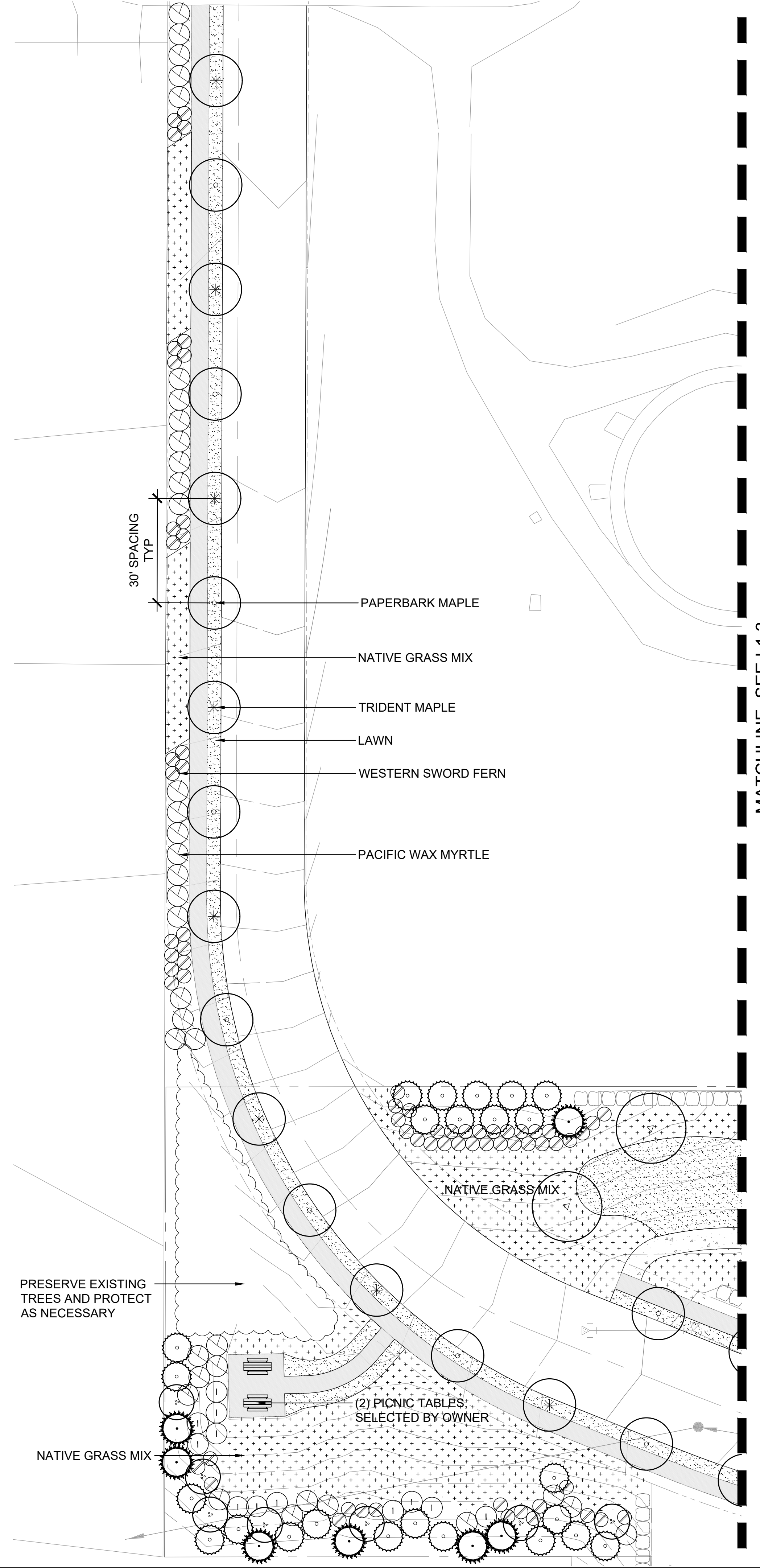
**RMJ Holdings, LLC**  
Woodlands @ Redondo Creek  
South 304th Street  
Federal Way, WA



REVISIONS	APPD.

PROJECT





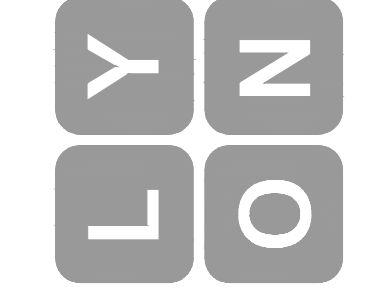
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**L1.1** OF **8** SHEETS

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PROJECT: Woodlands @ Redondo Creek	CHECKED: ML
NO. LLA0180.19	NUMBER

**Landscape Plan**

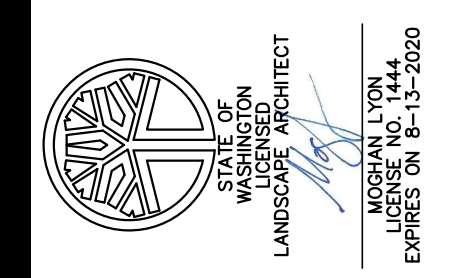
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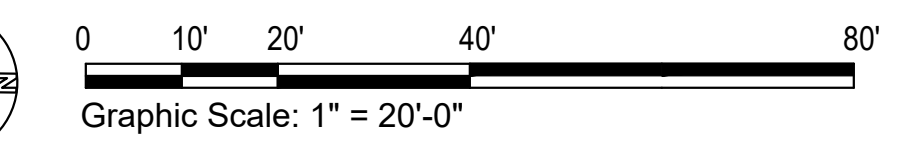
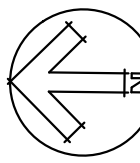
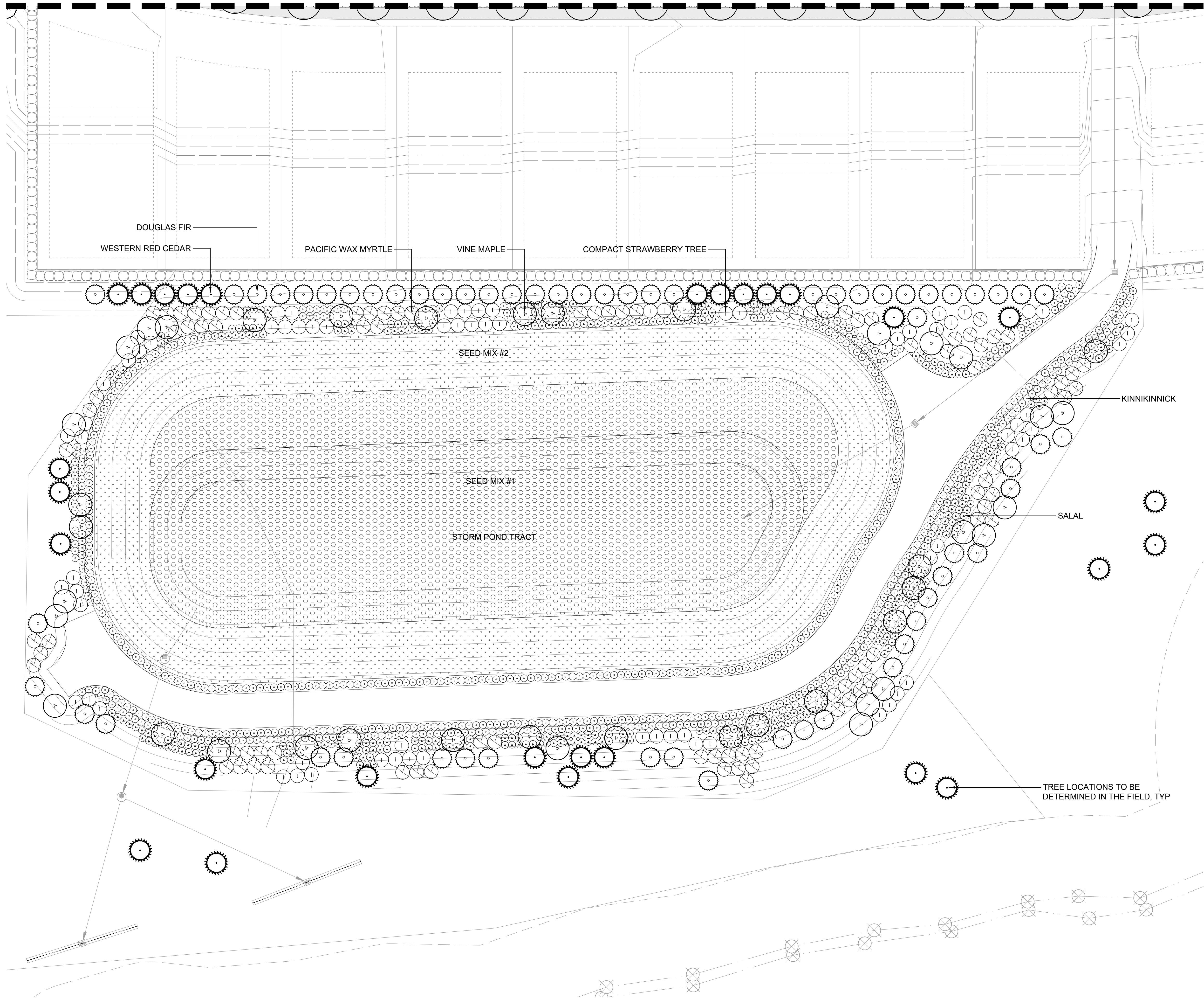
RMJ Holdings, LLC  
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 South 304th Street  
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PROJECT



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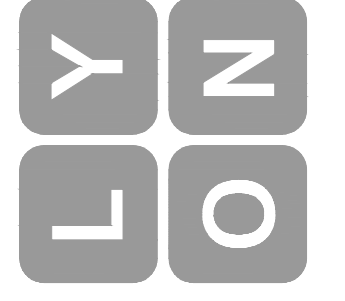
MATCHLINE. SEE L1.3



REFER TO L1.5 FOR  
PLANT SCHEDULE & NOTES

L1.2	OF	8	SHEETS
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PROJECT: Woodlands @ Redondo Creek	CHECKED:	ML	
NO: LLA0180.19	NUMBER:		

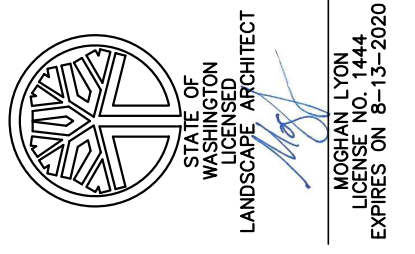
Landscape Plan



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Tacoma, WA 98402  
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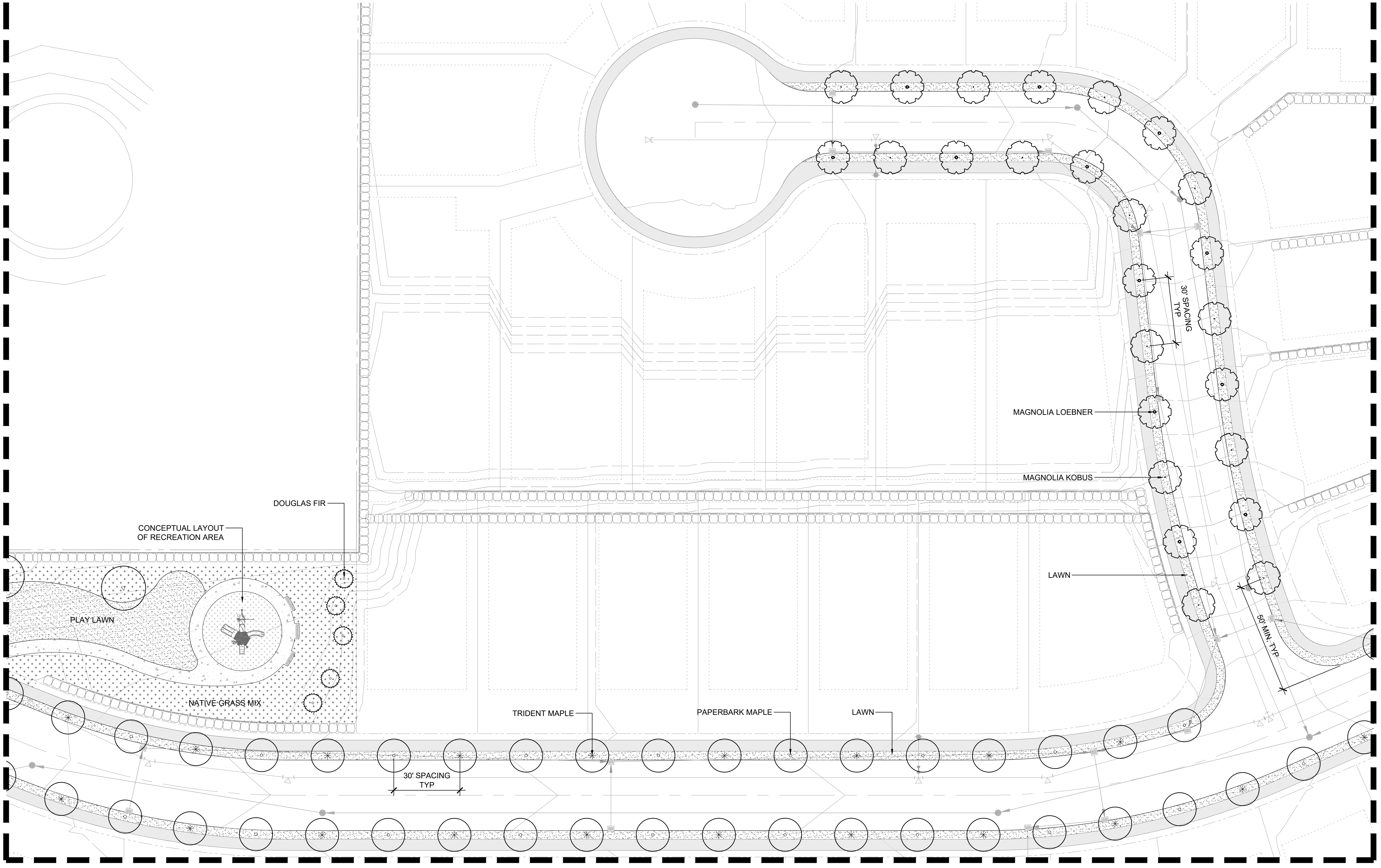
RMJ Holdings, LLC  
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PROJECT



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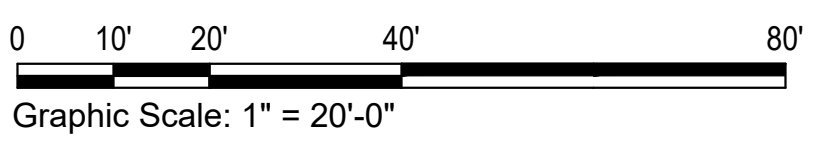
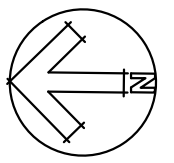
MATCHLINE. SEE L1.1



MATCHLINE. SEE L1.2

MATCHLINE. SEE L1.4

# Preliminary Plat Submittal - Not for Construction



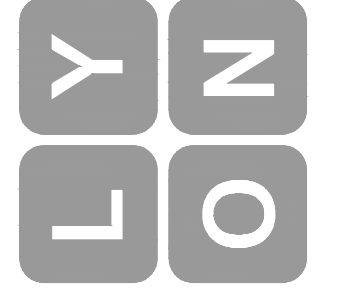
**REFER TO L1.5 FOR  
PLANT SCHEDULE & NOTES**

**L1.3** OF **8** SHEETS

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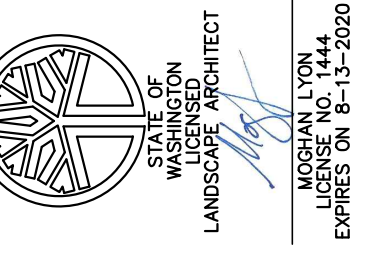
## Landscape Plan

REVISIONS	APPD.



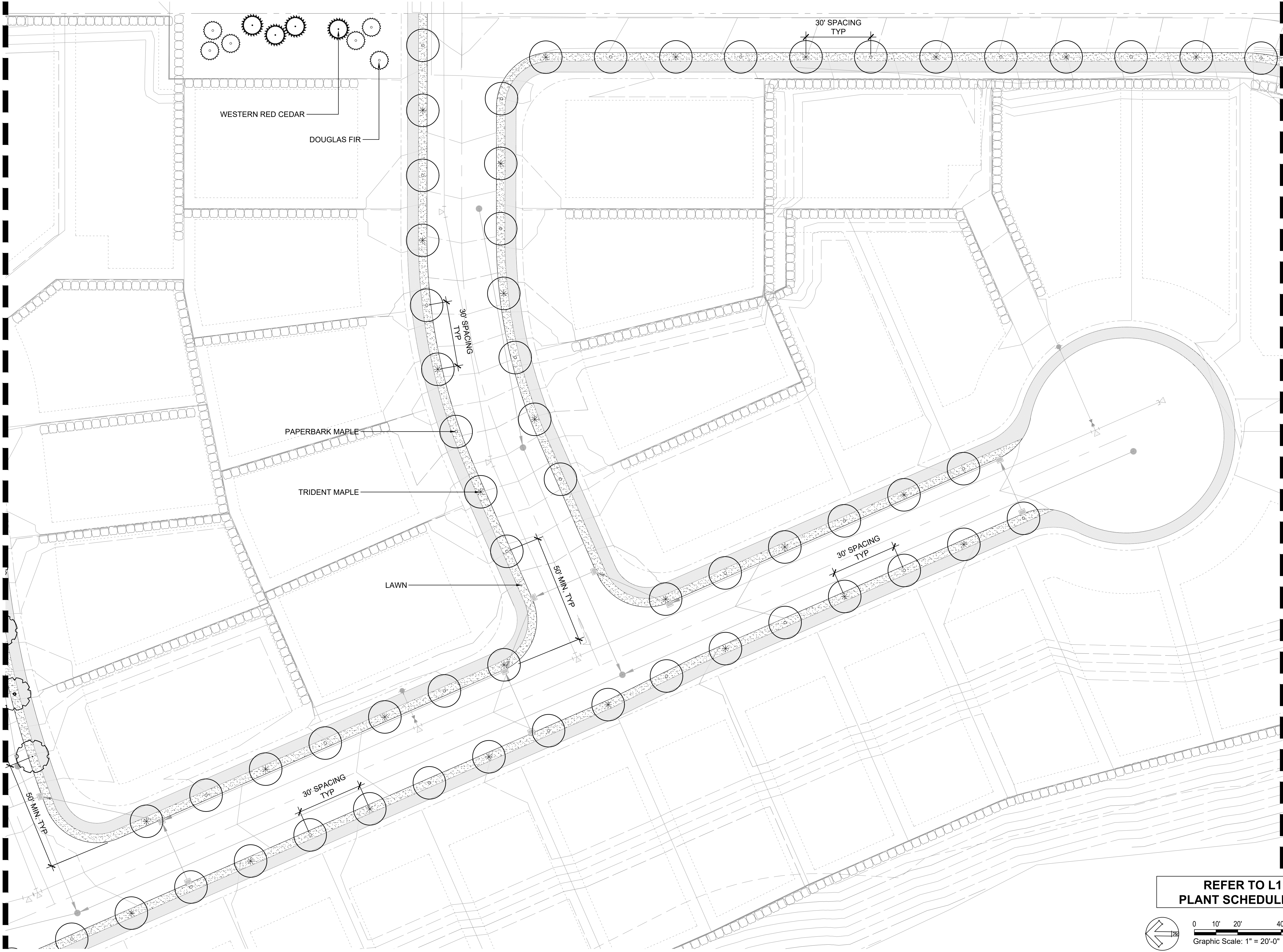
**Lyon Landscape Architects**  
 1015 Pacific Avenue, Ste 203  
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RMJ Holdings, LLC  
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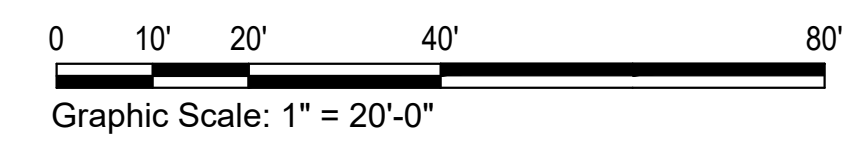
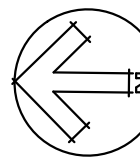


PROJECT

MATCHLINE. SEE L1.3



MATCHLINE. SEE L1.5



REFER TO L1.5 FOR  
PLANT SCHEDULE & NOTES

L1.4	OF	8	SHEETS
SCALE: 1" = 20'-0"	DESIGN: ML		
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Landscape Plan

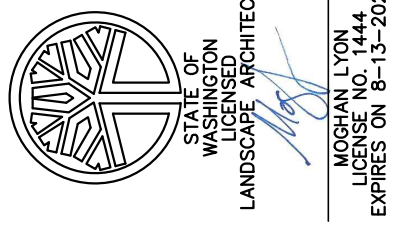
REVISIONS	APPD.



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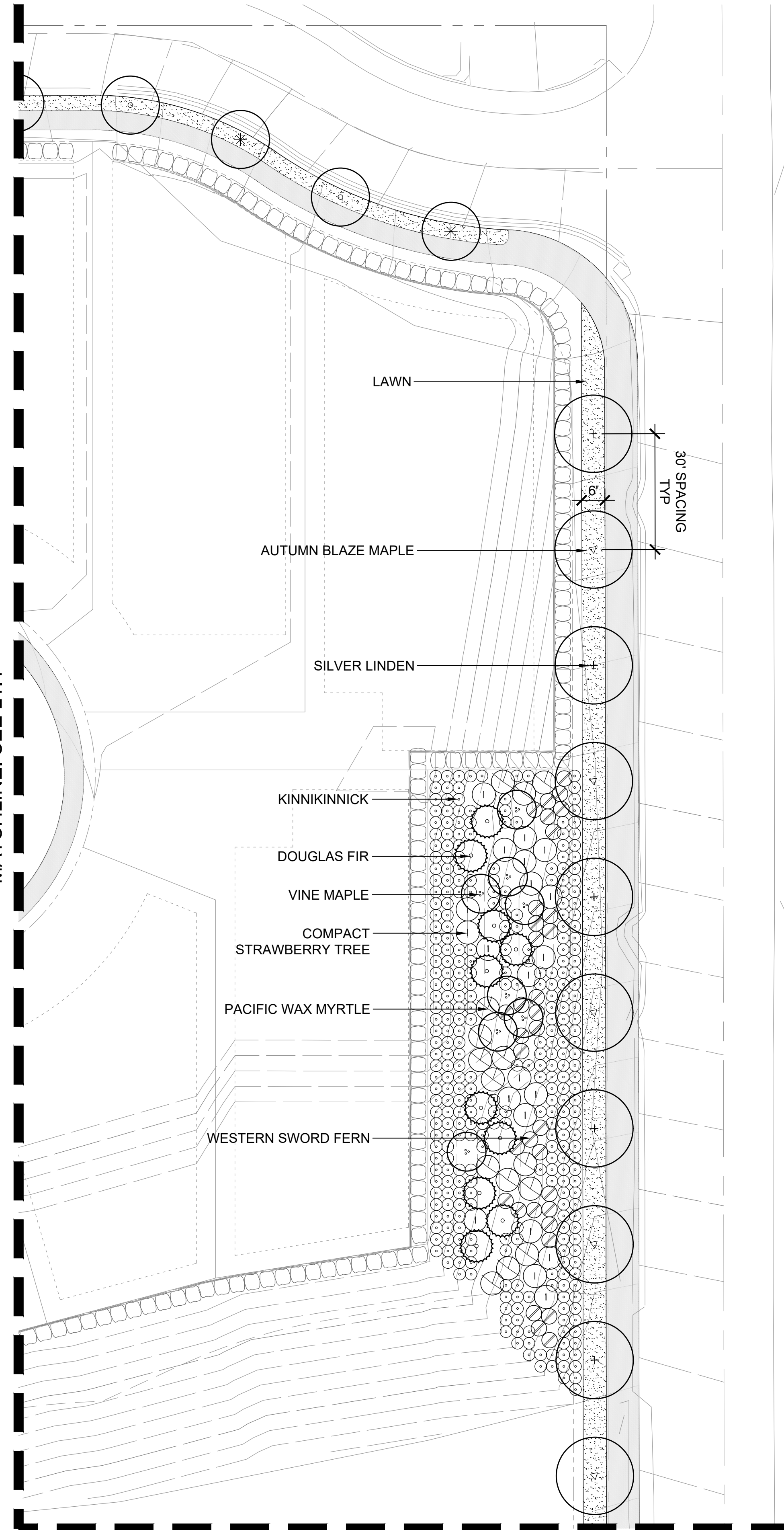
RMJ Holdings, LLC  
Woodlands @ Redondo Creek  
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PROJECT



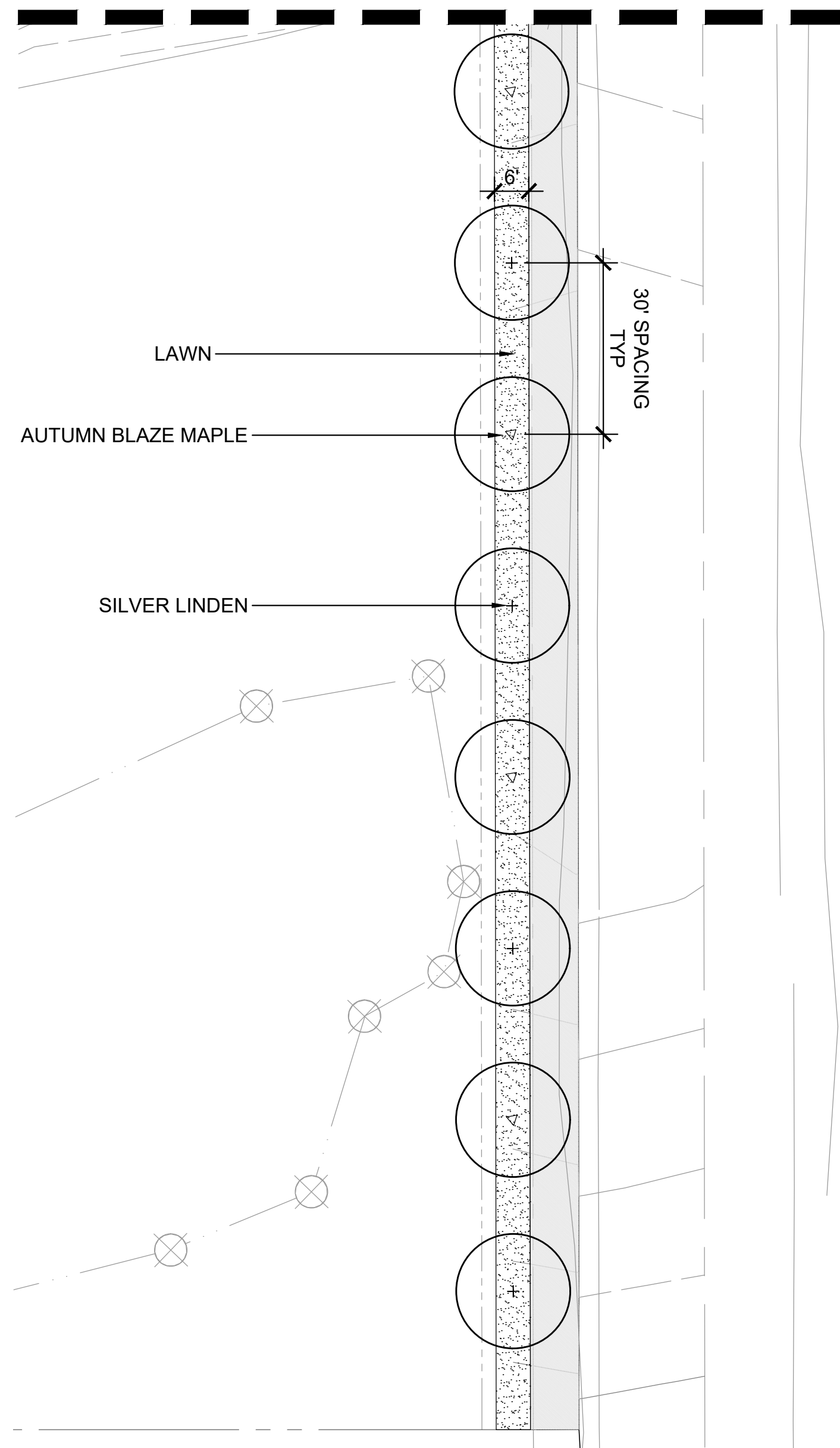
Preliminary Plat Submittal - Not for Construction

MATCHLINE. SEE L1.4



MATCHLINE. SEE 2/L1.5

MATCHLINE. SEE 1/L1.5



**TREE RETENTION CALCULATIONS & NOTES**

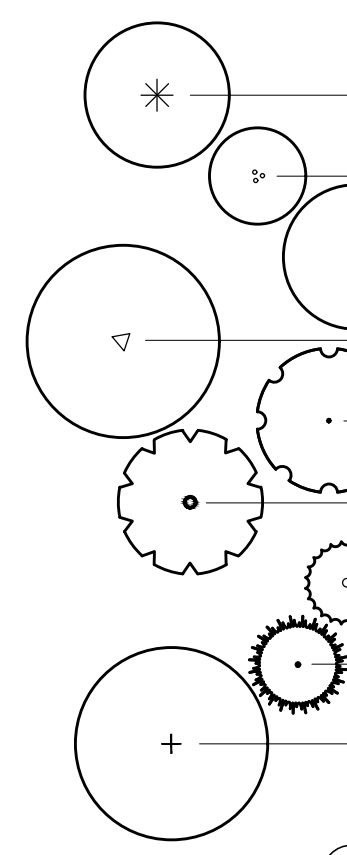
TOTAL PROJECT AREA:	21.85 acres
NET DEVELOPMENT AREA:	17.82 acres
MINIMUM DENSITY REQUIREMENTS:	446.0 tree units
(25 tree units/acre x 17.82 acres)	
PLANNED TREE RETENTION:	294.5 tree units
SHORTFALL OF TREE UNIT REQUIREMENTS:	151.0 tree units

<b>PROPOSED TREE UNITS REPLACEMENT:</b>	
3 site deciduous trees @ 1.0 tree units	3.0
143 site evergreen trees @ 1.5 tree units	214.5
<b>TOTAL PROPOSED TREE UNITS</b>	<b>217.5</b>
<b>TOTAL RETAINED &amp; PROPOSED TREE UNITS</b>	<b>512.0 Tree Units EXCEEDS REQUIREMENT</b>

- No disturbance area shall be established for each tree to be protected. The no disturbance zone shall be equal to the critical root zone which is defined as 12 inches radius for every one inch of tree diameter measured at four and one-half feet above ground. Any other no disturbance area proposed by the applicant shall be determined by a qualified arborist and subject to review and approval by the director.  
The no disturbance zone shall be identified during the construction stage with:  
(a) A temporary five-foot chain-link fence; and  
(b) Tree protection signage attached to the fence which reads:  
"TREE PROTECTION FENCE - No soil disturbance, parking, storage, dumping, or burning of materials is allowed within the Tree Protection Fence."
- No soil disturbance, parking, storage, dumping, burning of materials, impervious surfaces, fill, excavation, or storage of construction materials shall be permitted within the no disturbance area.
- If the grade level around the tree is to be raised by more than one foot, a rock well shall be constructed. The inside diameter of the rock well shall be equal to the diameter of the tree trunk plus 10 feet. Proper drainage, and irrigation if necessary, shall be provided in all rock wells.
- The grade level shall not be lowered within the larger of the drip line of the tree(s) or the critical root zone of the tree(s).
- No trenching is allowed in any critical tree root zone areas.
- No installation of any impervious surfaces is allowed in critical root zones. Where road or sidewalk surfaces are needed within critical root zones, un-mortared porous pavers or flagstone (rather than concrete or asphalt) may be used. Boardwalks or bridging may span root zones without harming the tree roots.
- Tree protection areas (i.e., critical root zone) must be prepared to better withstand the stresses of the construction phase by, if necessary, fertilizing, pruning, and mulching around them well in advance of beginning any construction activities.
- Alternative protection methods may be used if accepted by the director to provide equal or greater tree protection.
- Encroachment into the no disturbance area may be allowed where the director determines encroachment would not be detrimental to the health of the tree.

**PLANT SCHEDULE**

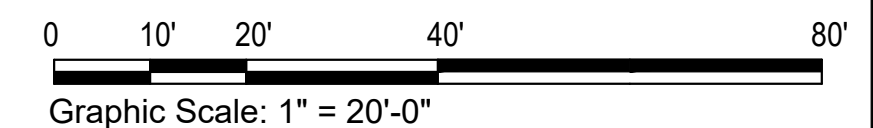
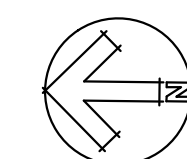
QTY.	BOTANICAL NAME	COMMON NAME	SIZE & SPACING, NOTES
<b>TREES</b>			
49	Acer buergerianum	Trident Maple	2" cal, 30' OC, fully branched & uniform, B&B
57	Acer circinatum	Vine Maple	6'-10' HT, 3 stem min, fully branched
58	Acer griseum	Paperbark Maple	2" cal, 30' OC, fully branched & uniform, B&B
11	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	3" cal, 30' OC, fully branched & uniform, B&B
13	Magnolia kobus	Kobus Magnolia	2" cal, 30' OC, fully branched & uniform, B&B
12	Magnolia loebneri	Loebner's Magnolia	2" cal, 30' OC, fully branched & uniform, B&B
104	Pseudotsuga menziesii	Douglas Fir	6'-8' HT, spacing as shown, B&B
39	Thuja plicata	Western Red Cedar	6'-8' HT, spacing as shown, B&B
9	Tilia tomentosa	Silver Linden	3" cal, 30' OC, fully branched & uniform, B&B
<b>SHRUBS / GRASSES / PERENNIALS</b>			
108	Arbutus unedo 'Compacta'	Compact Strawberry Tree	3 gal @ 6' OC
140	Myrica californica	Pacific Wax Myrtle	3 gal @ 6' OC
103	Polystichum munitum	Western Sword Fern	1 gal @ 4' OC
<b>GROUNDCOVERS</b>			
1050	Arctostaphylos uva-ursi 'Vancouver Jade'	Vancouver Jade Kinnikinnick	1 gal @ 3' OC, triangular spacing
326	Gaultheria shallon	Salal	1 gal @ 3' OC, triangular spacing



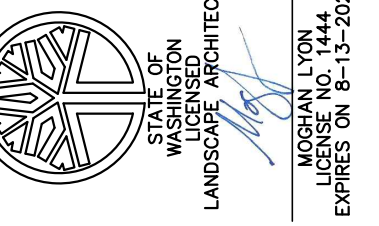
<b>HYDROSEED MIXES &amp; SOD</b>		
<b>POND SEED MIXTURE #1</b>		
Colonial Bentgrass	50%	By Country Green Turf Farms
Red Fescue	10%	Seeding Rate: Hydroseed @ 60 lbs per acre
Meadow Foxtail	40%	
<b>POND SEED MIXTURE #2</b>		
Colonial Bentgrass	10%	By Country Green Turf Farms
Red Fescue	40%	Seeding Rate: Hydroseed @ 60 lbs per acre
Annual Ryegrass	40%	
White Clover	10%	
<b>SPECIAL SUN MIXTURE</b>		
Perennial Ryegrass	80%	By Country Green Turf Farms
Fine Fescue	20%	Sod, as required and specified
<b>NATIVE GRASS MIXTURE</b>		
Seed Mix #1 DOT Multi-Purpose		By Sunmark Seeds International 1-888-214-7333
Quebec Perennial Ryegrass	30%	Seeding Rate: 8 lbs per 1,000 sq. ft.
Express II Perennial Ryegrass	30%	
Windward Chewings Fescue	20%	
Garnet Creeping Red Fescue	20%	

**LANDSCAPE SPECIFICATIONS & NOTES**

- SCOPE OF WORK**
  - The landscaping and irrigation work is part of a larger site project resulting in disturbance to the site, landscape and irrigation. As such, the landscape contractor shall coordinate all work with the general contractor, both before any construction begins, and during the course of construction.
- MATERIALS**
  - Topsoil. Topsoil shall be a 3 way blend of the following products; fine organic compost, loam, sandy loam and loamy sand. Topsoil available from Cedar Grove 877-764-5748, or approved equal
  - Mulch. Mulch shall be dark fine mulch, applied to a 2" compacted depth on all beds. Mulch available from Cedar Grove 877-764-5748, or approved equal
  - Fertilizer. Agraform 21-gram tablet time release fertilizer shall be used in all plantings. Place 1 for each ground cover, 2 for each shrub and 4 for each tree. They shall be placed in the plant pits as detailed. Also, top dress all plants with a suitable 'starter' fertilizer.
  - Tree Stakes. Tree stakes shall be 2" diameter x 8' length Lodgepole pine. Fasteners shall be 1" PVC Chain-Lock, placed as detailed.
- SOIL PREPARATION**
  - Prior to any landscape work, contractor shall remove, or have removed, all debris from the other building trades from the landscape surfaces. NO landscape work shall commence until the areas are cleared of other trades debris.
  - Cultivate the existing ground surface to a minimum depth of 8" and remove all rocks over 1", existing roots and other debris.
  - Fine grade the subgrade to adjoining surfaces in preparation of adding specified topsoil.
  - Beds. Place a minimum of 6" of specified topsoil on all beds and till or cultivate the topsoil a minimum depth of 8". Remove all rock and debris which may surface. Finished grade of topsoil shall be 2.5" below adjoining paved surfaces, allowing 2" for mulch. Therefore, finished grade shall be 1/2" below paved surface.
  - Refer to, and follow City of Federal Way standards, as necessary
- PLANTING OF TREES, SHRUBS AND GROUNDCOVERS**
  - Contractor responsible to verify quantities.
  - Contractor is to confirm that all beds are prepared and ready for planting, without interference with other trades.
  - Layout all plants as per plan and approval by Landscape Architect or Owner's Rep, making sure the plants are orientated to give best appearance to the viewer.
  - Pit plant all plants into prepared soil and plant per the details. While planting, water the plants into the plant pits thoroughly soaking the root balls and soil. Place fertilizer tablets as specified, filling plant pits with specified topsoil. Top dress fertilizer when completed.
  - Shrubs shall be a minimum of 24 inches high at the time of planting. Shrubs and groundcover shall be planted to attain coverage of 90% of the planting area within 3 years.
  - All plant material used shall meet the most recent American Association of Nurserymen Standards for nursery stock
- WARRANTY**
  - All landscaping shall be warranted for one year from FINAL ACCEPTANCE. Plants requiring replacement shall be of the original variety and size as specified herein.
- IRRIGATION**
  - All Street ROW and lawn areas shall require an automatic sprinkler system to be designed in the field



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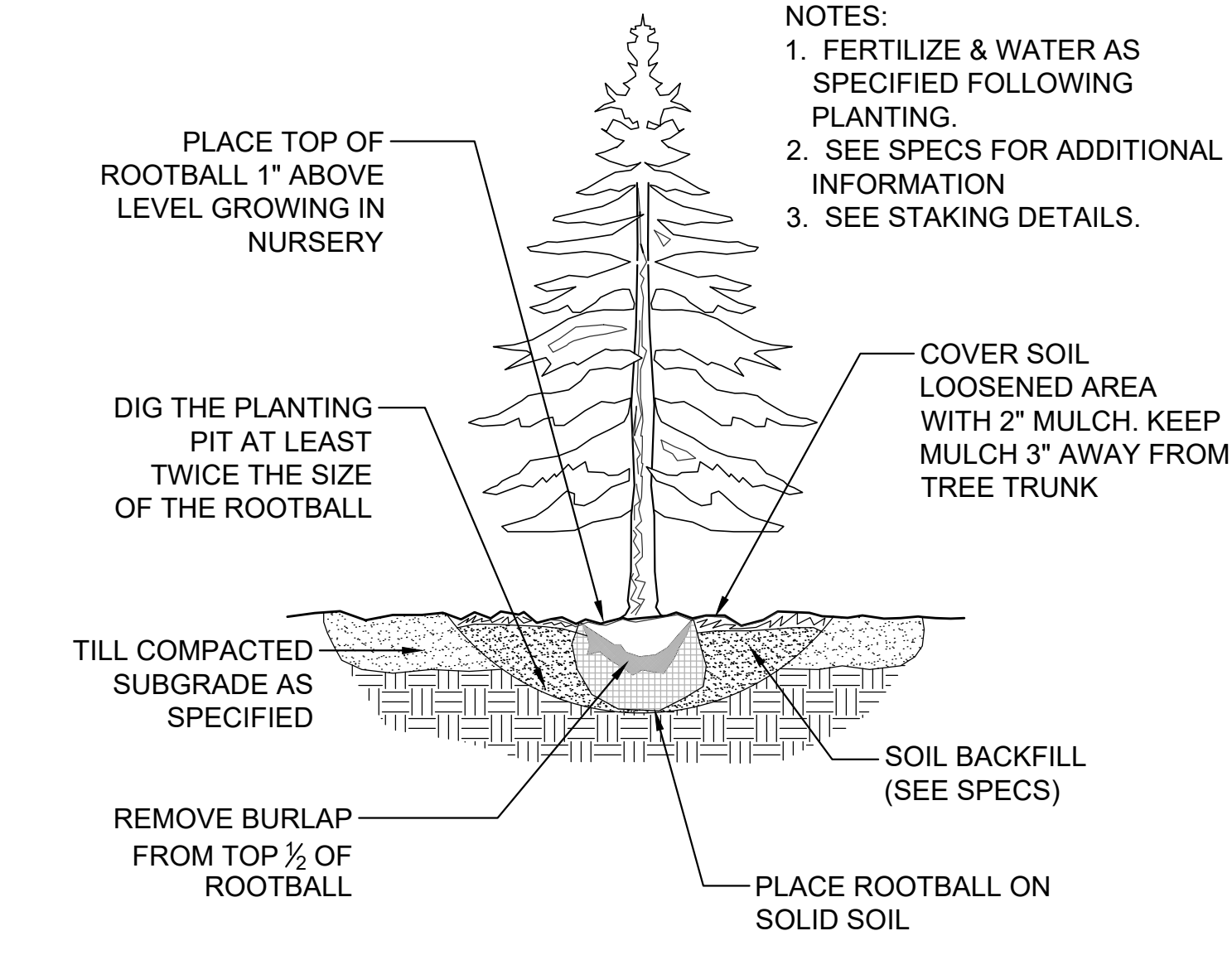


**Landscape Plan**

L1.5	OF	8	SHEETS
SCALE: 1" = 20'-0"	DESIGN: ML		
DATE: March 27, 2020	DRAWN: ML		
PROJECT: Woodlands @ Redondo Creek	CHECKED: ML		
PROJECT NUMBER: LLA0180.19	NUMBER:		
	REVISIONS		APPD.

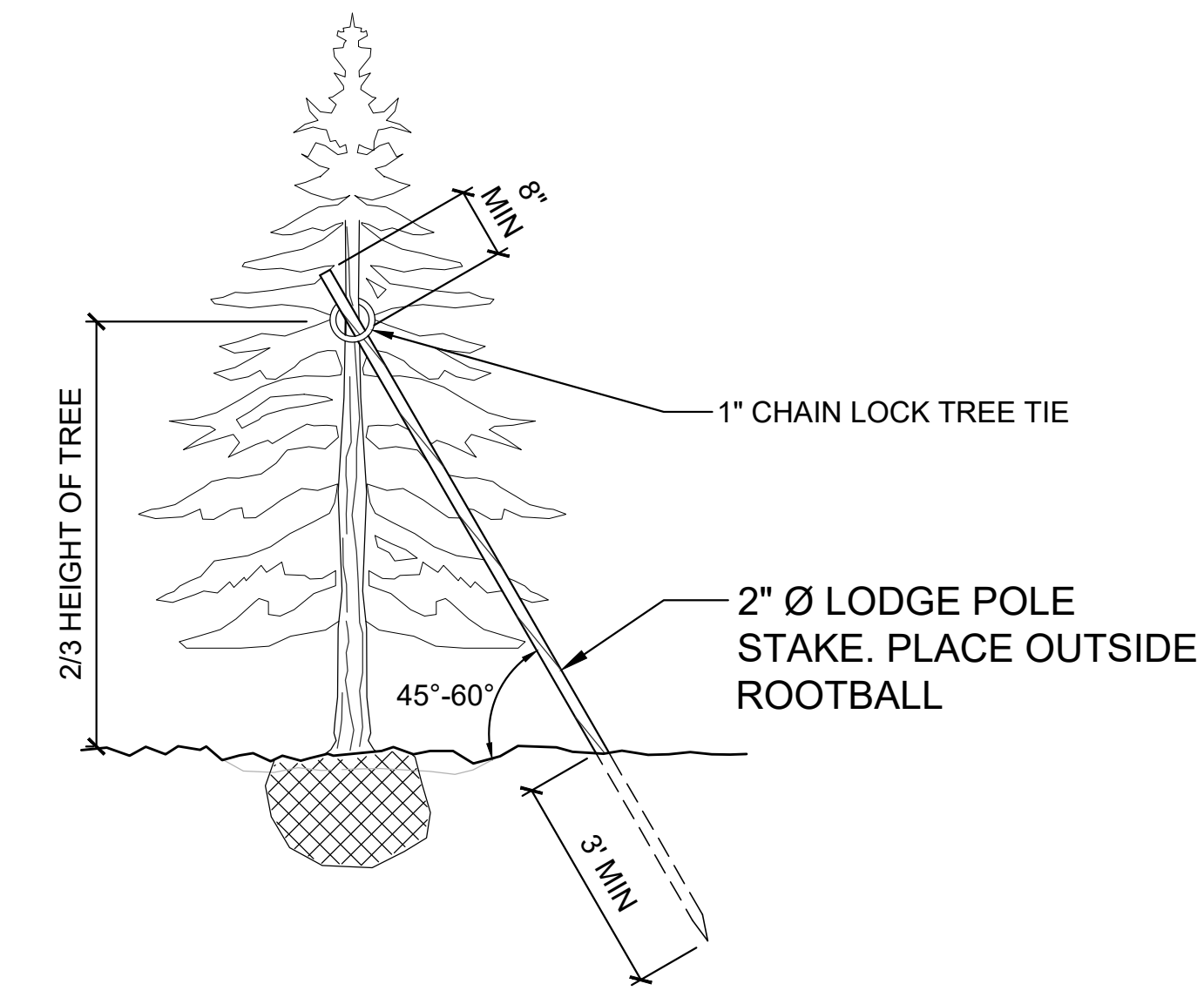
PROJECT

LANDSCAPE ARCHITECT  
LICENSE NO. 144  
EXPIRES ON 8-15-2020

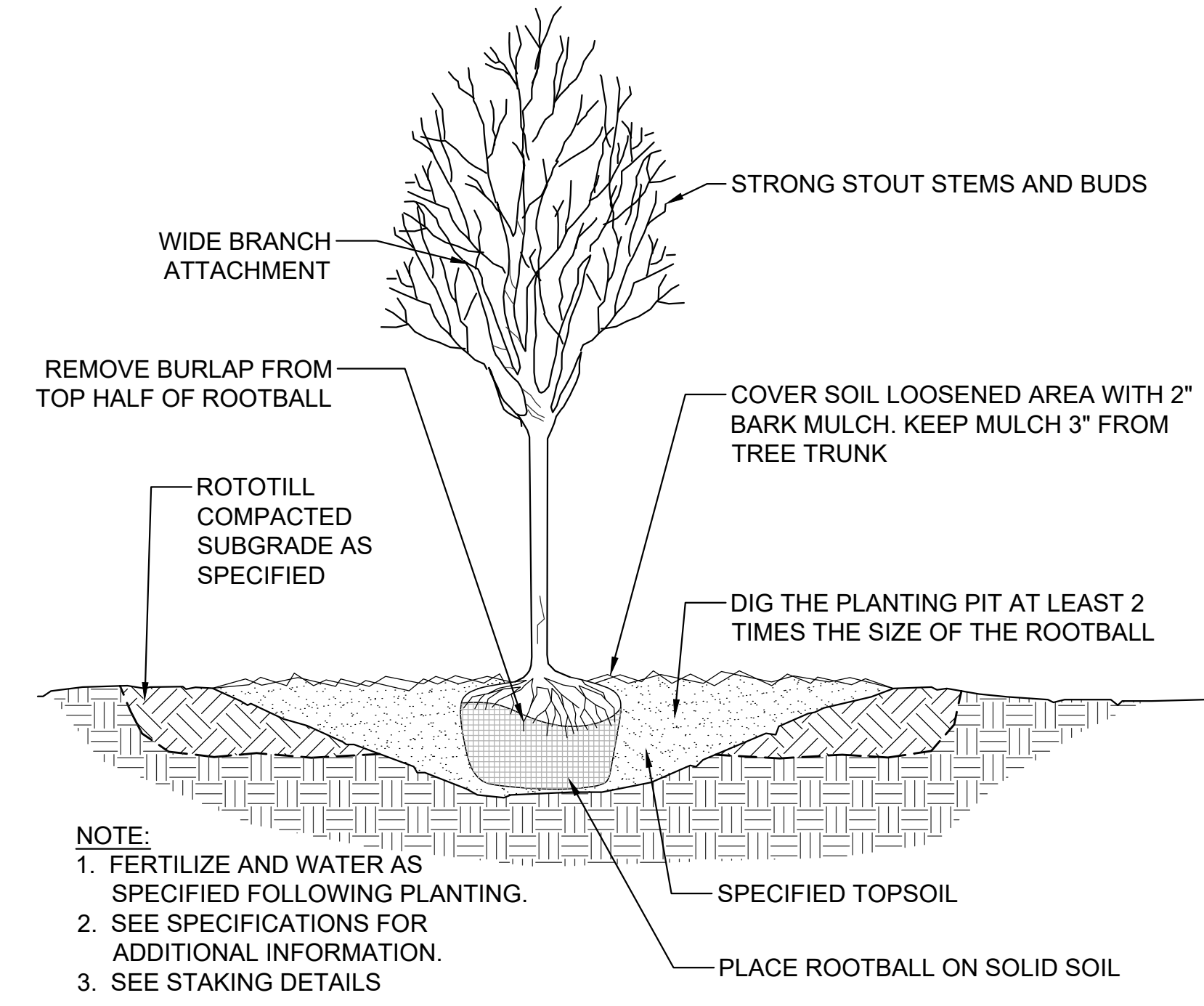


NOTES:  
 1. FERTILIZE & WATER AS SPECIFIED FOLLOWING PLANTING.  
 2. SEE SPECS FOR ADDITIONAL INFORMATION  
 3. SEE STAKING DETAILS.

1 CONIFER PLANTING DETAIL  
 SCALE: NTS

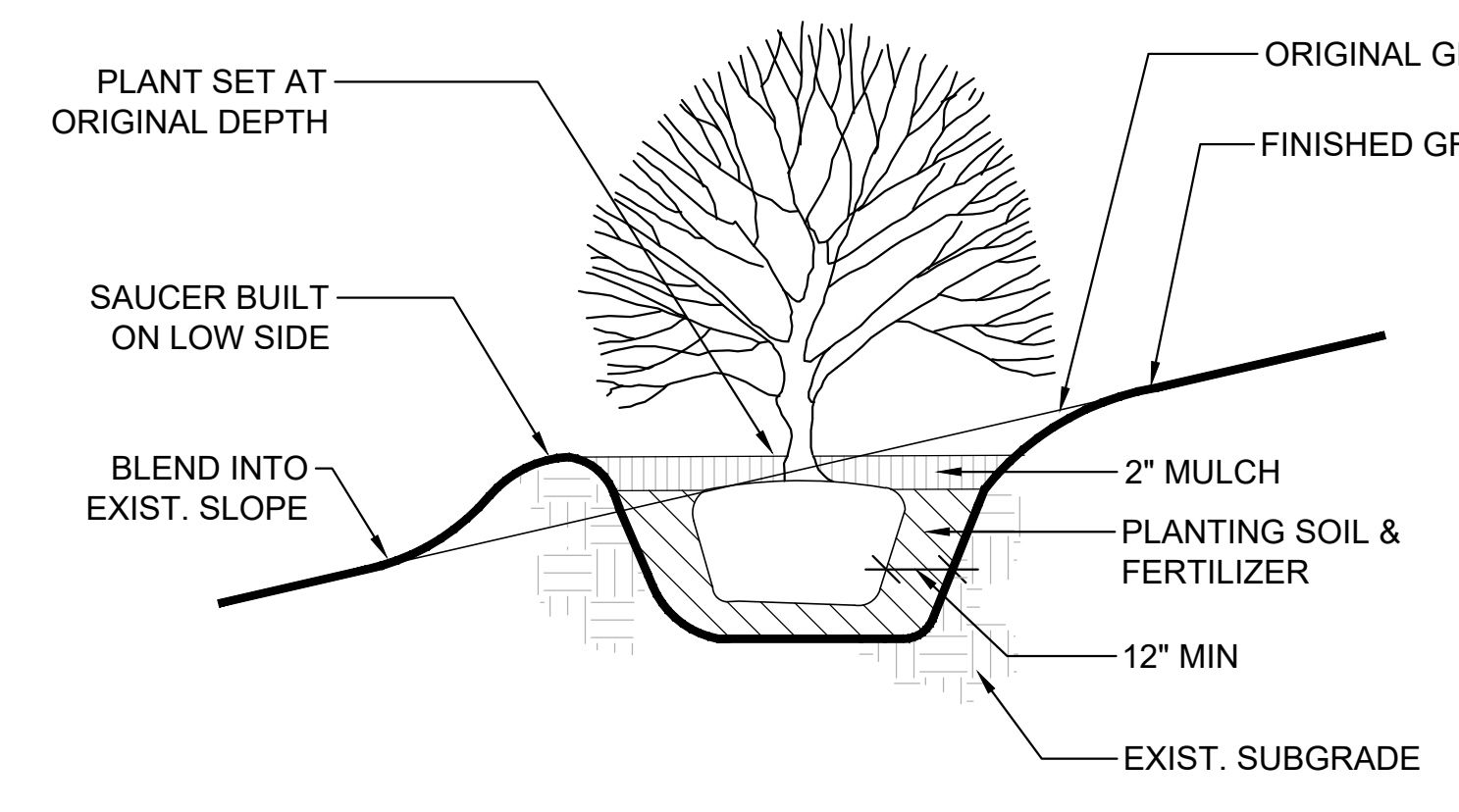


2 CONIFER TREE STAKING  
 SCALE: NTS

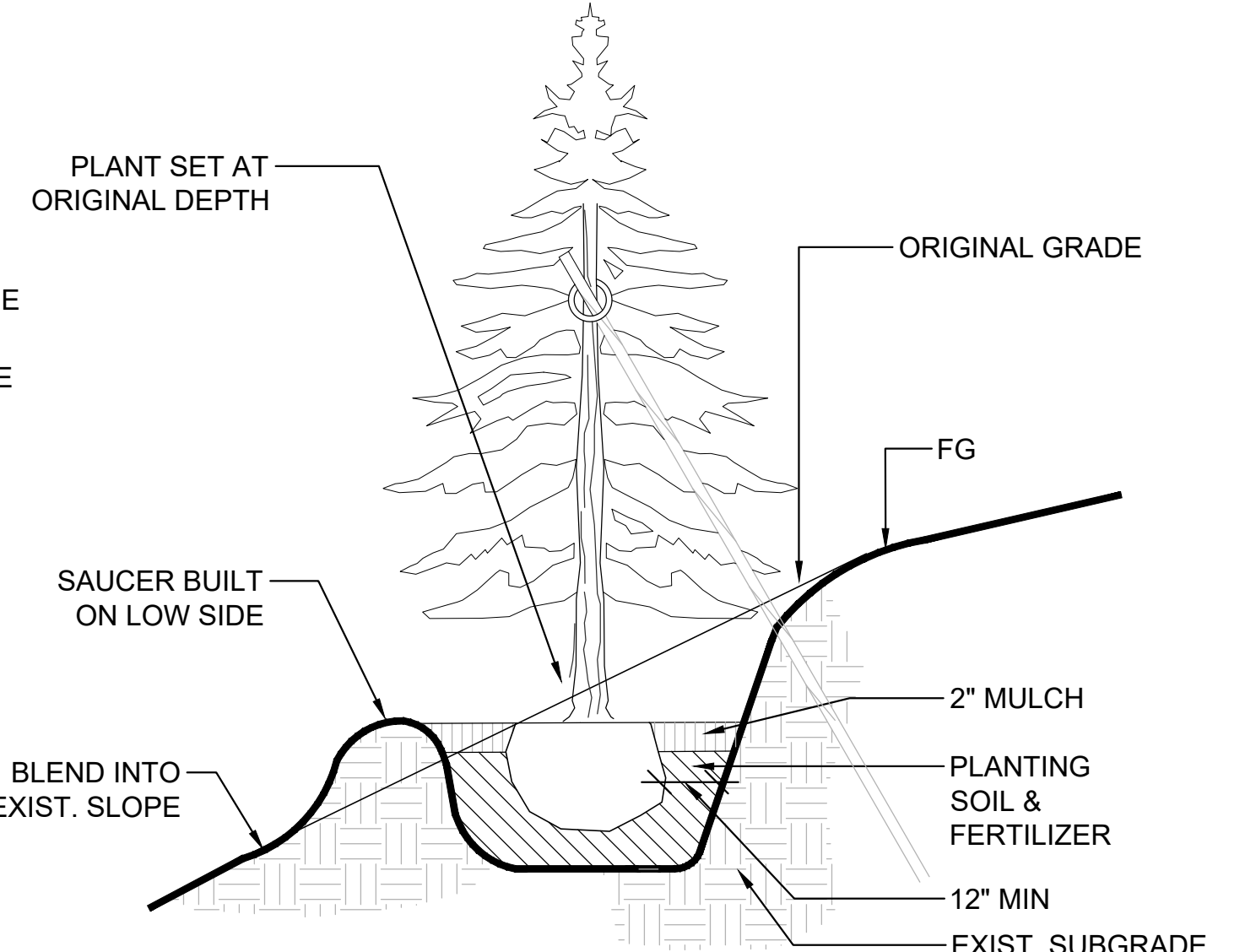


NOTE:  
 1. FERTILIZE AND WATER AS SPECIFIED FOLLOWING PLANTING.  
 2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.  
 3. SEE STAKING DETAILS

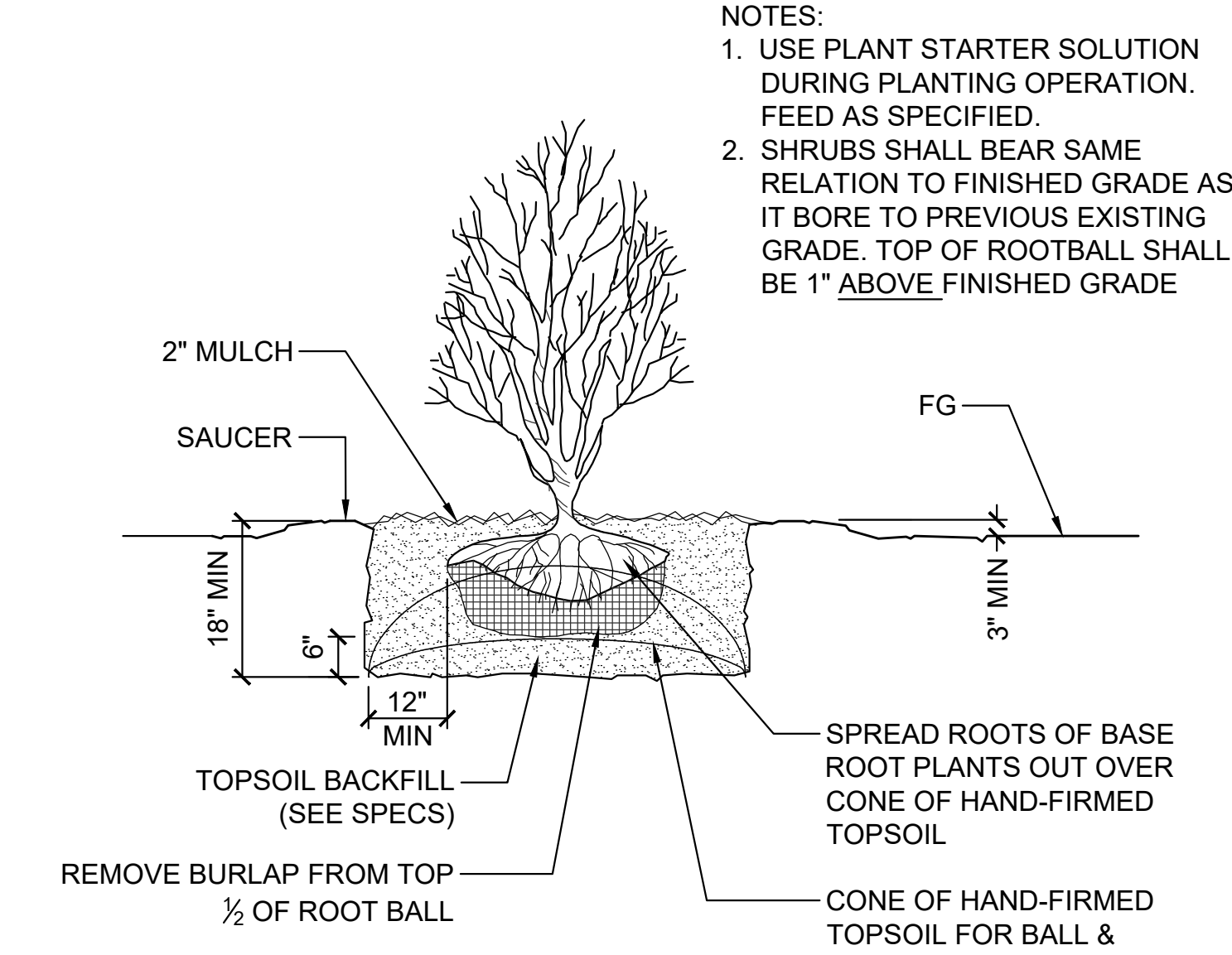
3 DECIDUOUS TREE PLANTING DETAIL  
 SCALE: NTS



4 TREE & SHRUB SLOPE PLANTING DETAIL  
 SCALE: NTS

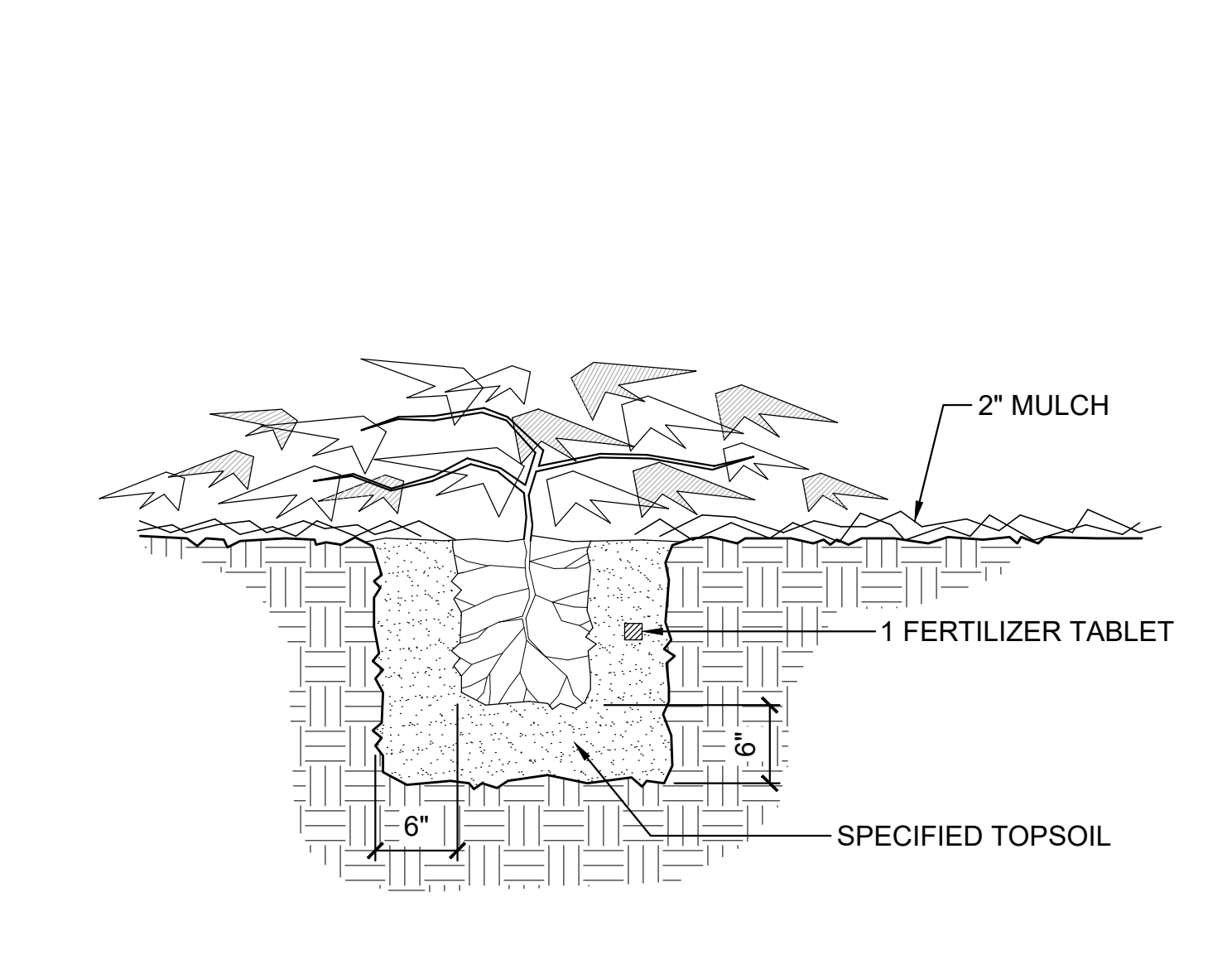


5 DECIDUOUS TREE STAKING DETAIL  
 SCALE: NTS

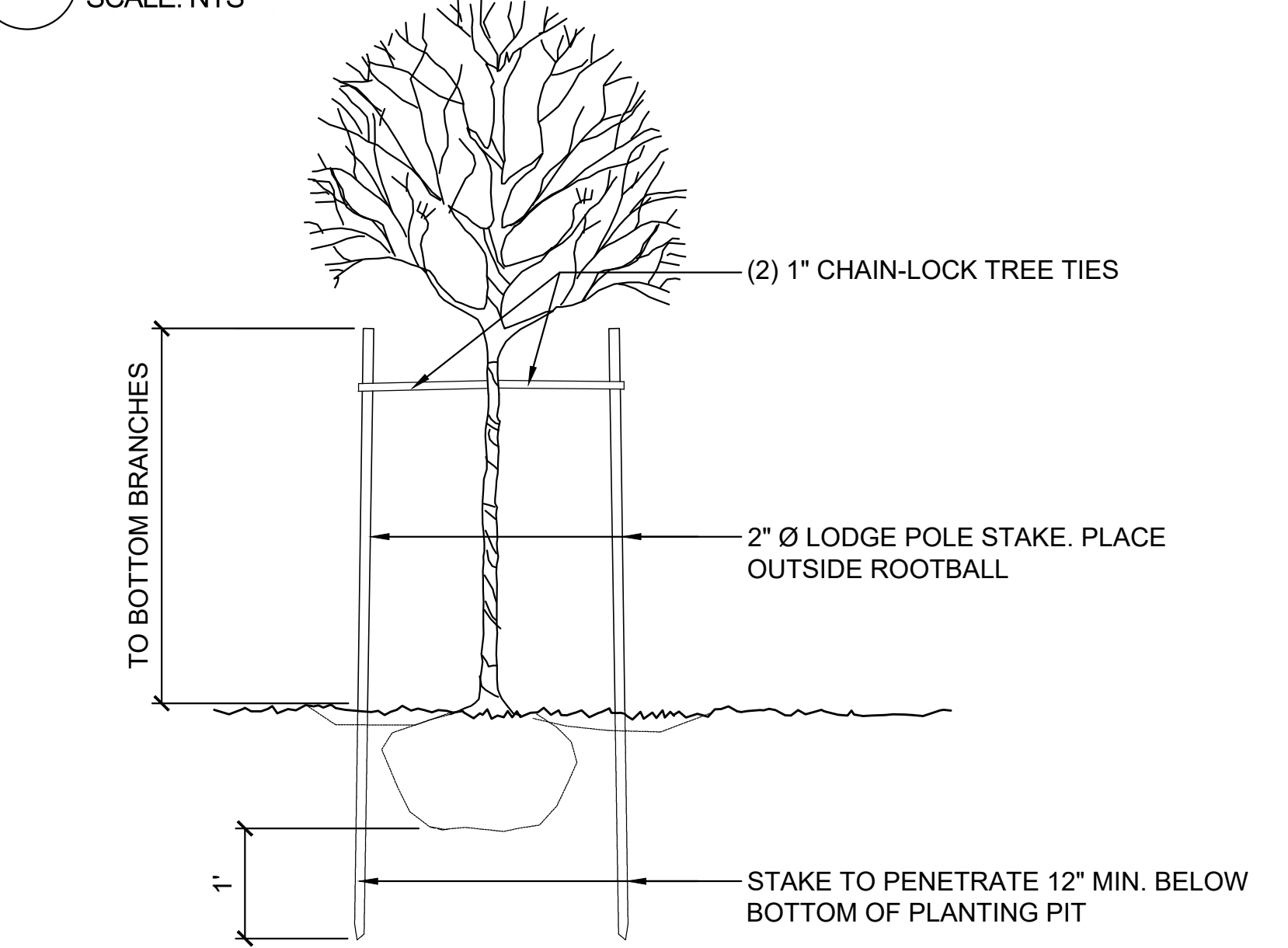


NOTES:  
 1. USE PLANT STARTER SOLUTION DURING PLANTING OPERATION. FEED AS SPECIFIED.  
 2. SHRUBS SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE. TOP OF ROOTBALL SHALL BE 1" ABOVE FINISHED GRADE

6 SHRUB PLANTING DETAIL  
 SCALE: NTS



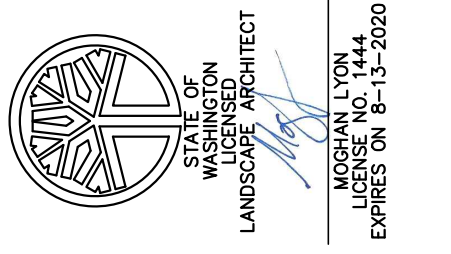
7 GROUNDCOVER PLANTING DETAIL  
 SCALE: NTS



NOTES:  
**FENCING/ROOT PROTECTION**  
 1. PROVIDE CHAIN LINK FENCING AND MAINTAIN 3' OUTSIDE OF TREE DRIFLINE.  
**TRENCHING AND EXCAVATION**  
**ZONE A - CRITICAL ROOT ZONE**  
 1. NO DISTURBANCE ALLOWED WITHOUT SITE INSPECTION AND APPROVAL OF METHODS TO MINIMIZE ROOT DAMAGE.  
 2. SEVERANCE OF ROOTS LARGER THAN 2" IN DIAMETER REQUIRES APPROVAL FROM COUNTY.  
 3. TUNNELING IS REQUIRED TO INSTALL LINE 3' OR DEEPER BELOW GRADE.  
**ZONE B - DRIFLINE**  
 1. OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS IS NOT PERMITTED.  
 2. SURFACE PROTECTION MEASURES REQUIRING TRENCHING ALLOWED AS FOLLOWS:  
 A. EXCAVATION BY HAND OR WITH HAND OPERATED TRENCHER MAY BE REQUIRED.  
 B. LIMIT TRENCHING WIDTH. DO NOT DISTURB ZONE A. MAINTAIN 2/3 OR MORE OF ZONE B IN UNDISTURBED CONDITION.  
 3. TUNNELING IS REQUIRED TO INSTALL LINE 3' OR DEEPER BELOW GRADE.  
**ZONE C - FEEDER ROOT ZONE**  
 1. OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS IS NOT PERMITTED.  
 2. TRENCHING WITH HEAVY EQUIPMENT ALLOWED AS FOLLOWS:  
 A. MINIMIZE TRENCH WIDTH.  
 B. LIMIT TRENCHING WIDTH. DO NOT DISTURB ZONE A. MAINTAIN 2/3 OR MORE OF ZONE C IN UNDISTURBED CONDITION.  
**SURFACE PROTECTION MEASURES**  
 1. 6-8" DEPTH OF WOOD CHIP MULCH.  
 2. 3/4" THICK PLYWOOD SHEETS OR STEEL PLATES.

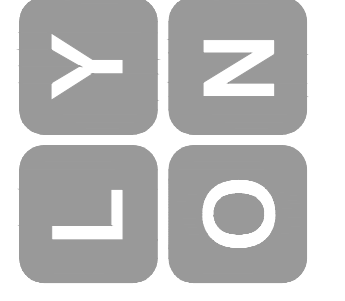
8 TREE PROTECTION DETAIL  
 SCALE: NTS

Preliminary Plat Submittal - Not for Construction



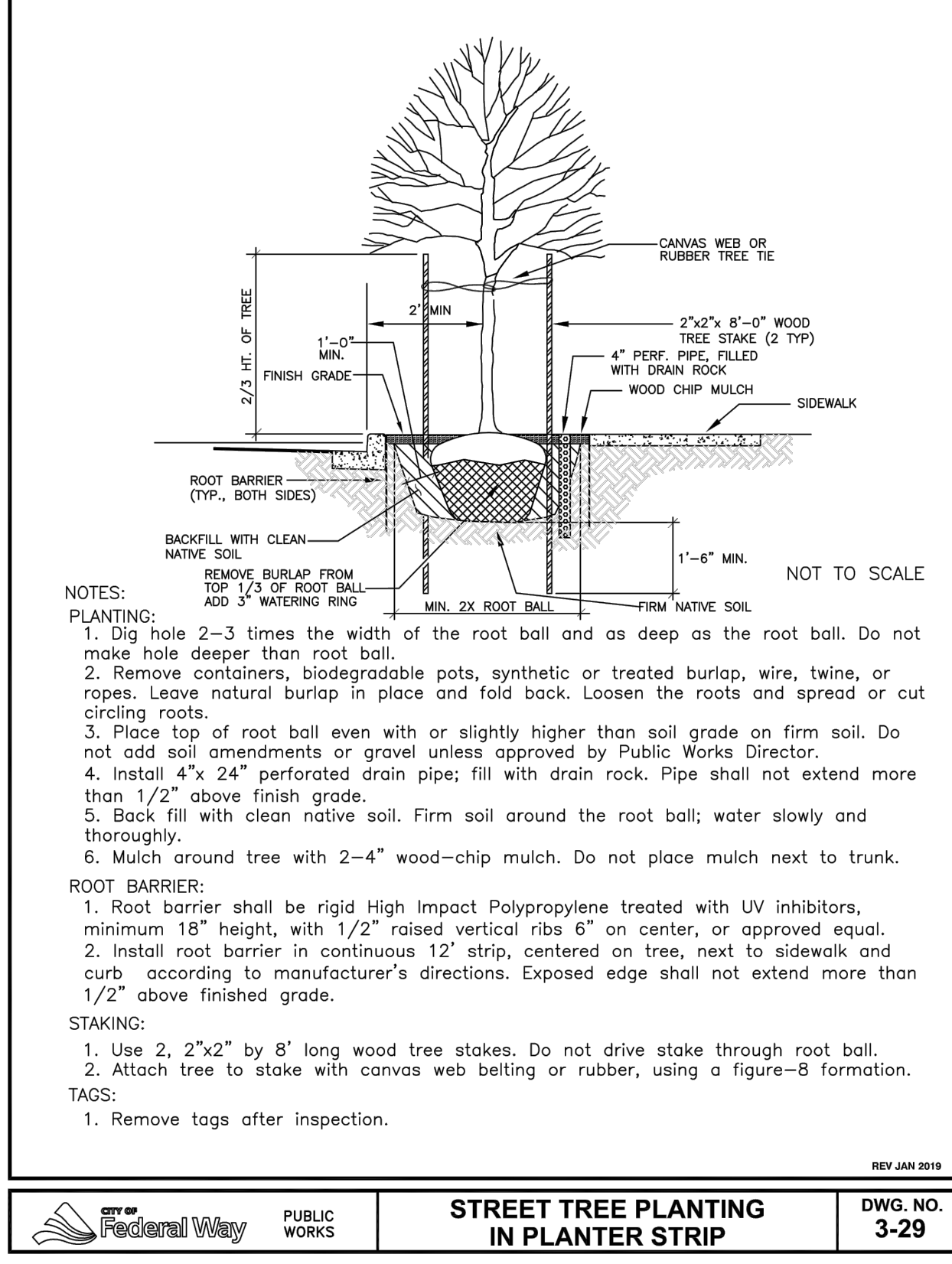
RMJ Holdings, LLC  
 Woodlands @ Redondo Creek  
 South 304th Street  
 Federal Way, WA

Lyon Landscape Architects  
 1015 Pacific Avenue, Ste 203  
 Tacoma, WA 98402  
 253-209-4053  
 Moghan@LyonLA.com

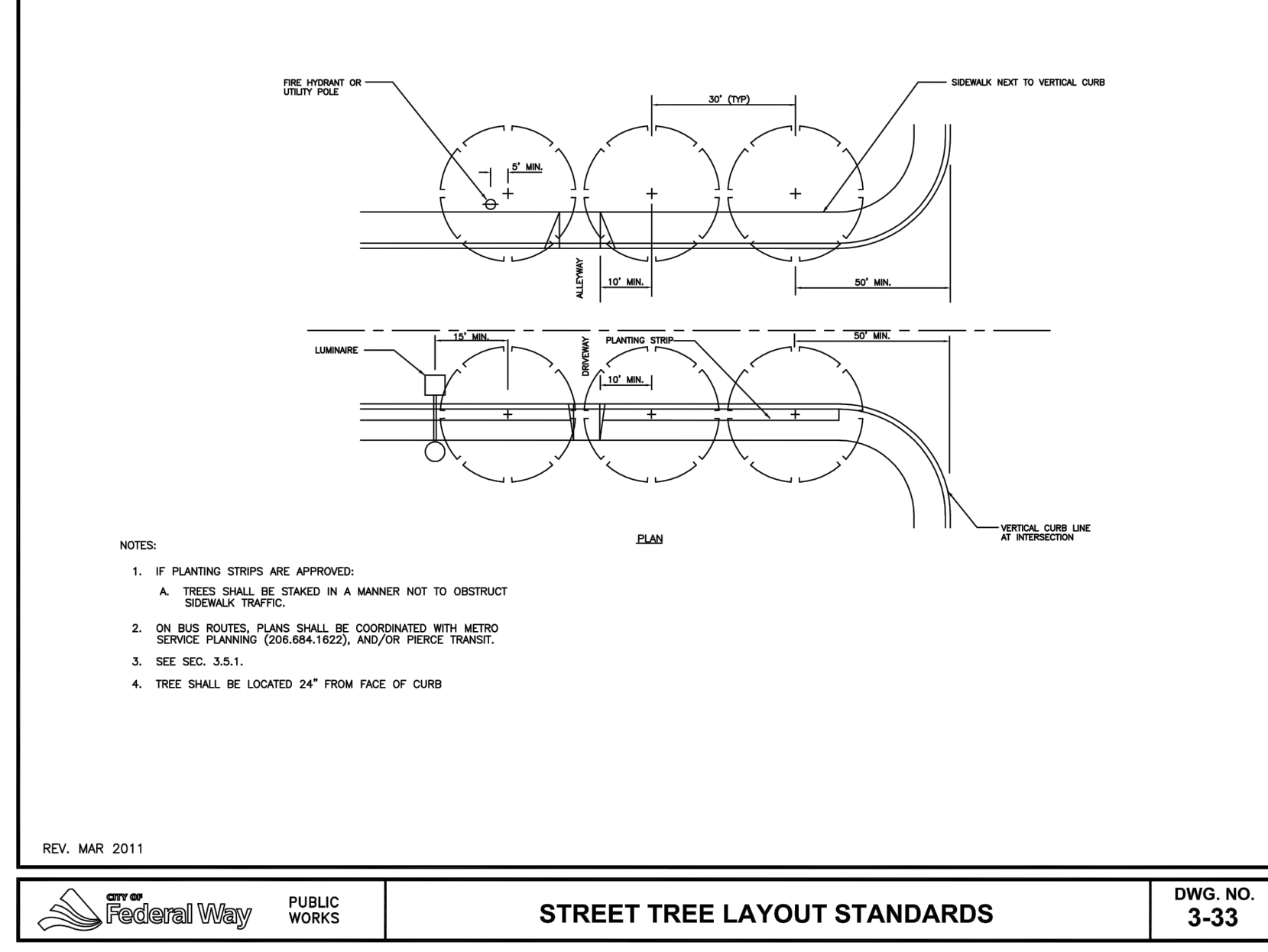


Planting Details

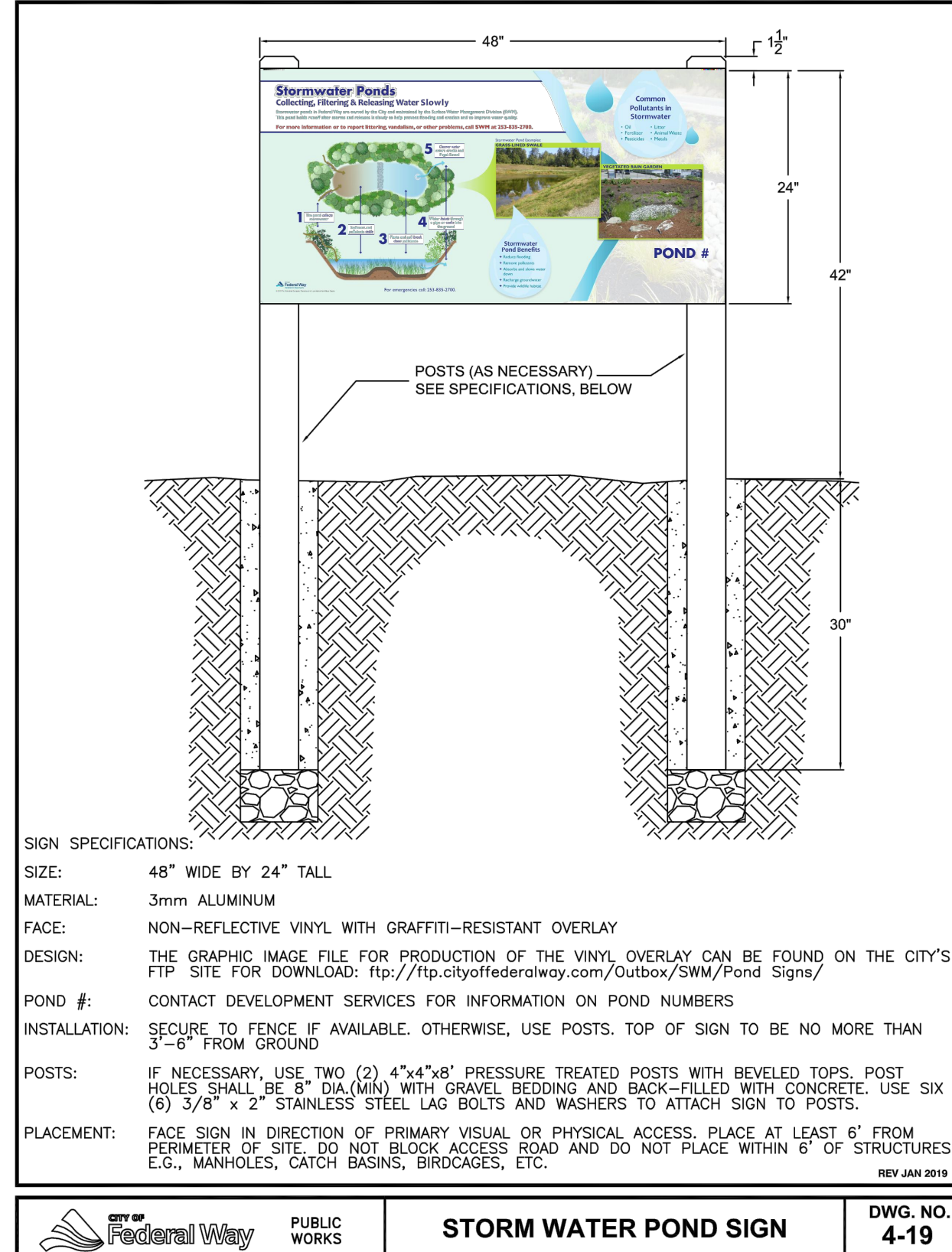
L1.6	OF	8	SHEETS
SCALE: As Shown	DESIGN: ML		
DATE: March 27, 2020	DRAWN: ML		
PROJECT: Woodlands @ Redondo Creek	CHECKED: ML		
PROJECT NUMBER: LLA0180.19	REVISIONS:		
			APPD.



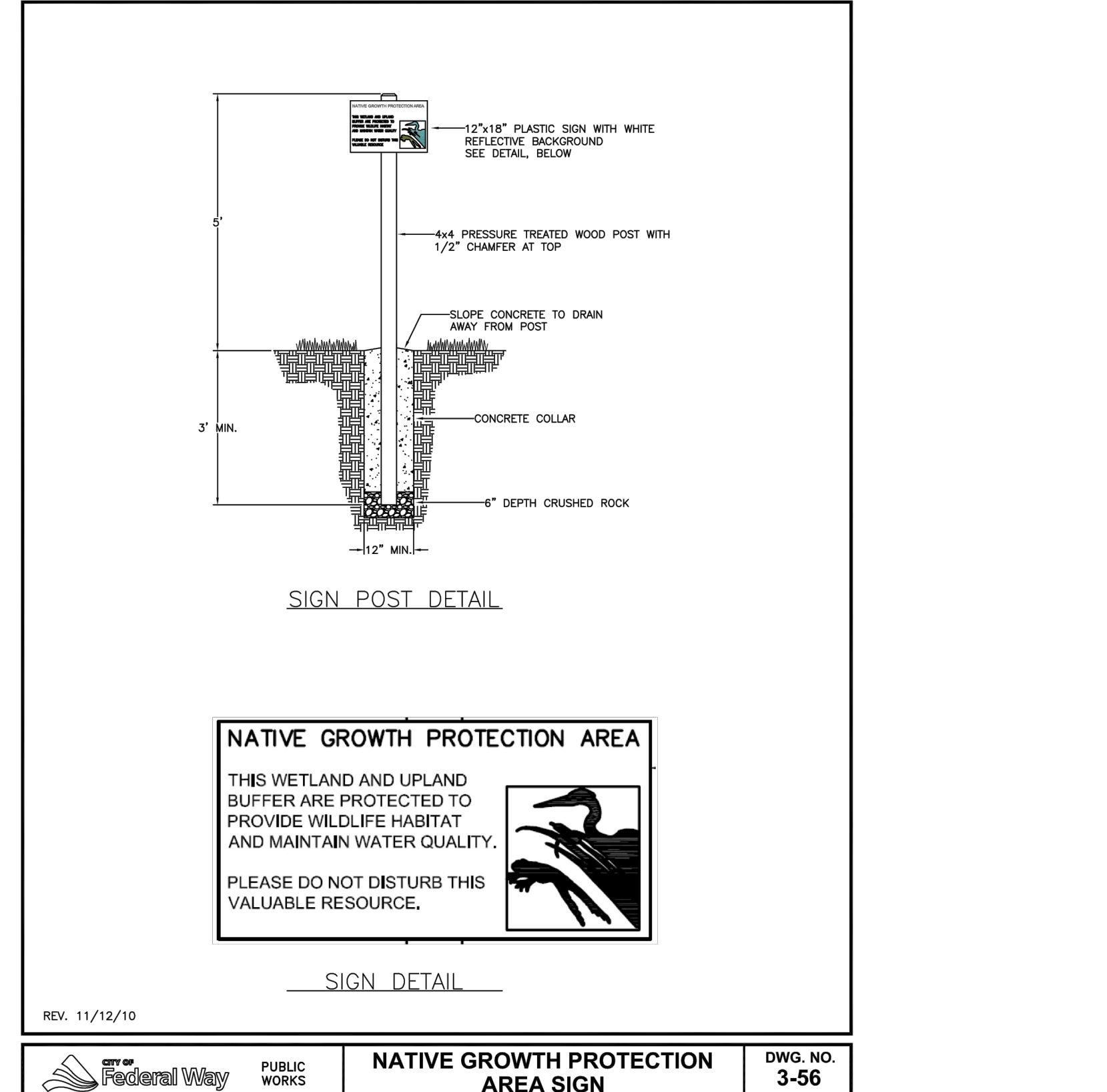
CITY OF Federal Way PUBLIC WORKS **STREET TREE PLANTING IN PLANTER STRIP** DWG. NO. 3-29



CITY OF Federal Way PUBLIC WORKS **STREET TREE LAYOUT STANDARDS** DWG. NO. 3-33

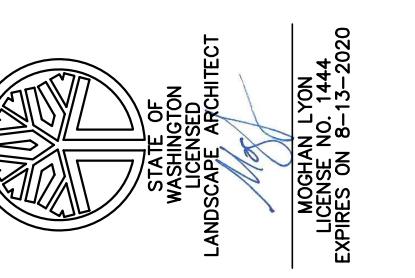


CITY OF Federal Way PUBLIC WORKS **STORM WATER POND SIGN** DWG. NO. 4-19



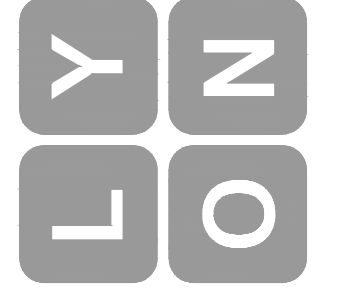
CITY OF Federal Way PUBLIC WORKS **NATIVE GROWTH PROTECTION AREA SIGN** DWG. NO. 3-56

**Preliminary Plat Submittal - Not for Construction**



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**City Planting Details**

SHEET	OF	DESIGN	DRAWN	CHECKED	APPD.
L1.7	8	ML	ML	ML	
SCALE: As Shown		DATE: March 27, 2020	PROJECT: Woodlands @ Redondo Creek	PROJECT NUMBER: LLA0180.19	

PROJECT